

Special Permit and Site Plan Review Application

BUD'S GOODS CULTIVATION & PRODUCT MANUFACTURING FARM

**111 River Street
Halifax, Massachusetts**

Prepared for:
**Bud's Goods and Provisions Corp.
54 West Boylston Street
Worcester, MA 01606**

Prepared by:



BEALS + THOMAS

BEALS AND THOMAS, INC.
32 Court Street
Plymouth, MA 02360

Submitted in Compliance with the Halifax Zoning Bylaw

January 25, 2021

January 25, 2021

Alan Dias, Chair
c/o Jo-Anne Snow, Administrator
Halifax Planning Board
499 Plymouth Street
Halifax, MA 02338

Via: Federal Express and Email (JoAnne.Snow@halifax-ma.org)

Reference: Application for Special Permit and Site Plan Review
Bud's Goods Cultivation & Product Manufacturing Farm
111 River Street
Halifax, Massachusetts
Project No. 3169.02

Dear Chairperson Dias and Members of the Board:

On behalf of the Applicant, Bud's Goods and Provisions Corp., Beals and Thomas, Inc. (B+T) respectfully submits this combined Special Permit and Site Plan Review for the installation of a marijuana establishment as defined in §167-3 of the Halifax Zoning Bylaw (the Bylaw). The farm includes the installation of an outdoor Marijuana Cultivation Facility consisting of agricultural fields, greenhouses, a ±15,000 SF indoor cultivation and processing building and an upgrade and expansion of the existing gravel access road (the Project) located on a historically agricultural site with an address of 111 River Street in Halifax, Massachusetts (the Property).

In accordance with Use Table and Marijuana Establishments, §167-7 (15) of the Bylaw, and confirmed with the Board at our informal discussion held on August 20, 2020, a marijuana establishment is an allowed use with the issuance of a Special Permit by the Planning Board. The Project has been designed in accordance with the Bylaw.

As required, enclosed are 15 copies of the Site Plans and one (1) copy of the Special Permit and Site Plan Review submission package. The following information is included for your review:

Section 1:	Forms
Section 2:	Project Narrative
Section 3:	Abutter Information
Section 4:	Stormwater Management Information
Section 5:	Plans

144 Turnpike Road
Southborough, MA 01772

Regional Office: Plymouth, MA

T 508.366.0560 | www.bealsandthomas.com | F 508.366.4391

Pursuant to requirements of the Bylaw, abutters within 300 feet of the subject property have been notified via certified mail concurrent with the date of this submission that this Application has been filed with the Halifax Planning Board. Enclosed is a check payable to the Town of Halifax in the amount of \$225.00 for the appropriate filing fee for a Special Permit (\$125.00) and Site Plan Review Application (\$100.00). It is our understanding that the Planning Board will place the legal advertisement in a paper of local circulation, and it will be the responsibility of the Applicant to notify abutters within 300 feet of the Property. A check for \$84.00 made payable to the Town of Halifax has been provided to cover the cost for the legal advertisement.

Additionally, the Applicant respectfully requests a waiver from the Town of Halifax Site Plan Checklist that requires "*Renderings and Plans of all buildings and structures*". The proposed building and greenhouses and their dimensions have been depicted on the enclosed Site Plans. However, provided the Project is in the preliminary stages, renderings of the proposed building have not yet been completed.

Should you have any questions regarding this matter or require additional information, please contact us at sstearns@bealsandthomas.com. We thank you for your consideration of this Special Permit and Site Plan Review Application and look forward to meeting with the Board at the next available hearing.

Very truly yours,

BEALS AND THOMAS, INC.



Sarah W. Stearns, PWS
Associate

cc: Halifax Town Clerk (1 copy via Email)
Alex Mazin, Bud's Goods and Provisions (1 copy via Email)

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Section 1.0 **Forms**

Site Plan Review Form
Site Plan Review Checklist
Application for Hearing for a Special Permit



Town of Halifax

499 Plymouth Street

Halifax, MA 02338

781-293-1736

Planning Board Application for Site Plan Review

The undersigned hereby applies for Site Plan Approval.

1. Owner's Name V. S. Haseotes & Sons
2. Owner's Address PO Box 8000 Cumberland, RI 02864 Telephone #
3. Location of Building: Street Address No existing buildings onsite. Site Address: 111 River
Street, Halifax MA Map # 117 Lot # 1
4. Applicant's Name if different Bud's Goods and Provisions Corp. Telephone # 774-239-2200
5. Applicant's Address 54 West Boylston Street Worcester, MA
6. New Building(s) to be used as: A 15,000 SF building is proposed to be constructed as part of the
proposed marijuana establishment and cultivation facility.
7. Change or Expansion of use to: The Property is mapped within the Industrial District by the Town of Halifax.

The Applicant is seeking a Special Permit with Site Plan Approval to construct a marijuana establishment as defined by Section 167-3 of the Bylaw for marijuana cultivation.

The applicant is hereby notified that he/she must comply with all requirements of the Board of Health and the Zoning By-Laws.

Please ensure your site plan complies to the specifications stipulated in §167-28 of the Zoning By-Laws of the Town of Halifax. (copy attached.)

Signature of Applicant:

Date of Application:

1/24/21



Town of Halifax

Planning Board

499 Plymouth Street, Halifax, MA 02338
781-293-1736

Site Plan Check List

Requirements	Included	Waiver Requested
Site Plan drawn at 1"= 20' or for larger lots 1"= 40'	<u>X</u>	<u> </u>
General Soil Type	<u>X</u>	<u> </u>
Existing Roadways	<u>X</u>	<u> </u>
Plan of adjacent property at a scale of 1"= 100' or same size as property if practical	<u>X</u>	<u> </u>
General characteristics of property within 300', including structures and their uses, parking areas, driveways, pedestrian ways and zoning districts	<u>X</u>	<u> </u>
Trees and other vegetation	<u>X</u>	<u> </u>
Included in Site Plan are:		
Boundry Lines	<u>X</u>	<u> </u>
Dimensions of Lot	<u>X</u>	<u> </u>
Assessor's Map & Lot #	<u>X</u>	<u> </u>
Zoning District	<u>X</u>	<u> </u>
Name of Owner of Record	<u>X</u>	<u> </u>
Owner of Record for Abutting Property	<u>X</u>	<u> </u>
North Point	<u>X</u>	<u> </u>
Rendering & Plans of all buildings & Structures	<u> </u>	<u>X</u>
Existing & Proposed Topography at 2' contours including any outcropping of bedrock	<u>X</u>	<u> </u>
Location of the following on or within 100' of development Site:		
Existing Structures	<u>N/A</u>	<u> </u>
Access Roads	<u>X</u>	<u> </u>
Driveways and Driveway openings	<u>X</u>	<u> </u>
Parking Spaces	<u>X</u>	<u> </u>
Hydrants	<u>X</u>	<u> </u>
Services	<u>N/A</u>	<u> </u>
Loading Area	<u>N/A</u>	<u> </u>
Proposed vehicular circulation system, including pavement Widths	<u>Included as applicable.</u>	

Site Plan Check List (cont'd)

Requirements	Included	Waiver Requested
Location and dimensions of proposed driveway entrances and exits	<u> X </u>	<u> </u>
Proposed Fire Lanes	<u> X </u>	<u> </u>
Proposed pedestrianways, bicycle ways, and other transportation routes	<u> N/A </u>	<u> </u>
Proposed parking areas and signs	<u> X </u>	<u> </u>
All Proposed structures including:		
Their area and dimensions	<u> X </u>	<u> </u>
Their exact location	<u> X </u>	<u> </u>
Their relation to topography	<u> X </u>	<u> </u>
Their proposed use	<u>Refer to the enclosed narrative.</u>	
Number and type of proposed dwelling units and unit mix if known	<u> N/A </u>	<u> </u>
Service access and facilities for all structures or uses, including garbage and trash disposal facilities	<u> X </u>	<u> </u>
Location of water supply and wastewater disposal facility	<u> X </u>	<u> </u>
Existing and proposed site drainage including:		
General location of any drainage swails	<u> X </u>	<u> </u>
Wetlands, streams and ponds	<u> X </u>	<u> </u>
Floodplain Areas, HUD/FEM or other designated Kettleholes	<u> X </u>	<u> </u>
Wells and any mapped water supply protection	<u> X </u>	<u> </u>
Conservancy or Floodplain water supply protection	<u> X </u>	<u> </u>
Conservancy or Floodplain water supply protection zoning districts within 200'	<u> X </u>	<u> </u>
A note summarizing the Drainage Calculations and explaining any design not providing a 0 increase in runoff for a 25 year storm	<u> X </u>	<u> </u>
Location of open space, including:		
Intended use	<u> X </u>	<u> </u>
Existing trees and other vegetation to be retained	<u> N/A </u>	<u> </u>
Specific new plantings by size and location and the entity intended to own and maintain them	<u> N/A </u>	<u> </u>
	<u> N/A </u>	<u> </u>

Site Plan Check List (cont'd)

Requirement	Included	Waiver Requested
Final contours and measures and structures to minimize erosion and siltation during construction	<u> X </u>	<u> </u>
Significant site appurtenances such as:		
Walls	<u> N/A </u>	<u> </u>
Light poles showing direction of outdoor lighting	<u> N/A </u>	<u> </u>
Recreation Areas	<u> N/A </u>	<u> </u>
Any fencing Screening or Signs	<u> N/A </u>	<u> </u>
All rights of ways and easements, existing and proposed	<u> X </u>	<u> </u>
Name and stamps of the responsible registered land surveyor, landscape architect or civil engineer	<u> X </u>	<u> </u>
Indication of the meeting of any specific requirements established in the Zoning Chapter not already provided for.	<u> X </u>	<u> </u>

The Planning Board may waive specific requirements when they are inappropriate to a given proposal.

Applicants shall submit an original and 9 copies of their site plan to the Planning Board, who shall give the applicant a dated receipt. Within 4 days the Secretary shall retain 1 copy and transmit 1 copy to each:

Town Clerk
 Board of Assessors
 Board of Health
 Building Inspector/Zoning Officer
 Conservation Commission
 Fire Department
 Highway Surveyor
 Water Commissioner

And written notice of availability of plan to Police Department.



Town of Halifax Commonwealth of Massachusetts

PLANNING BOARD

499 Plymouth Street • Halifax, MA 02338 • 781-293-1735

APPLICATION FOR HEARING FOR A SPECIAL PERMIT

DATE: 1/25/2021

NAME OF APPLICANT(S): Bud's Goods and Provisions Corp.

ADDRESS: 54 West Boylston Street Worcester, MA 01606

OWNER(S) OF PROPERTY: V.S. Haseotes & Sons

**If different than applicant(s), fill in the below box (see asterik)*

***Owner(s) Authorization to be completed when Applicant(s) is other than the Owner(s) of the Property:**

I/We, V.S. HASEOTES & SONS LP,

as Owner(s) of the subject property hereby authorize Bud's Goods and Provisions Corp.

[Signature] to act on my behalf, in all matters relative to work authorized by this special permit application.

Signature of Owner(s)

1/25/21
Date

PETITIONER IS: Bud's Goods and Provisions Corp.

(Owner, Tenant, Licensee, Prospective Purchaser, Contractor, Agent)

NATURE OF PETITION: The Proponent is seeking a Special Permit Application for the construction and operation of an agricultural establishment for the growth and cultivation of marijuana.

APPLICABLE SECTION OF ZONING BYLAW/ORDINANCE: Marijuana Establishment 167-7(15)

I/WE HEREBY REQUEST A HEARING BEFORE THE PERMIT GRANTING AUTHORITY WITH REFERENCE TO THE ABOVE NOTED APPLICATION.

SIGNATURE: _____

PHONE #: 774- 239-2200

EMAIL: alex@budsgoods.com

05/07/2020



Town of Halifax Commonwealth of Massachusetts

PLANNING BOARD

499 Plymouth Street • Halifax, MA 02338 • 781-293-1735

APPLICATION FOR HEARING FOR A SPECIAL PERMIT

DATE: 1/25/2021

NAME OF APPLICANT(S): Bud's Goods and Provisions Corp.

ADDRESS: 54 West Boylston Street Worcester, MA 01606

OWNER(S) OF PROPERTY: V.S. Haseotes & Sons

**If different than applicant(s), fill in the below box (see asterik)*

***Owner(s) Authorization to be completed when Applicant(s) is other than the Owner(s) of the Property:**

I/We, _____,

as Owner(s) of the subject property hereby authorize Bud's Goods and Provisions Corp.

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WITH REFERENCE TO THE ABOVE NOTED APPLICATION.

SIGNATURE: _____

PHONE #: 774- 239-2200

EMAIL: alex@budsgoods.com

05/07/2020

Section 2.0

Project Narrative

2.0 PROJECT NARRATIVE

2.1 Introduction

The Project consists of the installation of a marijuana farming facility on existing agricultural land that is being subdivided to create a ± 47 acre parcel. The facility will consist of a $\pm 80,000$ SF outdoor farm, five $\pm 1,730$ SF greenhouses and a $\pm 15,000$ SF farm building with associated drainage and gravel parking area. The Project is set back and will utilize the existing access road from River Street. Though the Applicant does not propose to utilize the full extent of the acreage, at this at this time, the Project will likely be expanded in phases with evolving marijuana regulations allow. Refer to the enclosed exhibit in Section 5.0 for additional information on where the agricultural use of the fields is proposed.

Based on a review of the Massachusetts Historical Commission (MHC) mapping system (MACRIS Maps) the Property is not mapped as historical or of archeological importance. A Notice of Intent with the Halifax Conservation Commission will be filed for review related to jurisdictional wetland resource areas.

2.2 Existing Conditions

The subject property consists of a ± 47 acre portion of a 382-acre property located to the south of River Street, specifically Halifax Assessor Map 117, Lot 1, owned by V. S. Haseotes & Sons. The Property is significantly set back but fronts on River Street and is bound to the east by agricultural land partially developed by a solar energy company, and to the west by the Halifax/Middleborough town line. The Property is located within the Industrial zoning district as determined by the Halifax Zoning Map dated July 2007.

The Property is largely devoid of wooded vegetation in the area proposed for development and appears to have been used for agricultural purposes. An existing gravel access road of variable width is located off River Street and continues southeast along the eastern property boundary. The land is surrounded by undeveloped land of similar nature.



Gravel access road and silt fences viewed to the south.



Drainage channel on west side of access road viewed to the south.



Drainage channel on eastern side of the access road viewed to the south.



Solar panels to the east of the Property.



General site conditions. View facing north.



*Vegetation on the east side of Bartlett Brook.
View facing north.*



*Northern portion of site along River Street.
View facing east.*



View of River Street facing west.

2.3 Proposed Conditions

The Project will consist of outdoor agricultural fields and greenhouses along with a building to be used for processing. Wastewater will be pumped to an off-site leaching field as coordinated with the landowner and to be permitted through the Halifax Board of Health.

Access to the site is proposed through the existing gravel access drive off the south side of River Street that continues along the eastern side of the property. The Applicant proposes to upgrade the existing culvert and the existing access as necessary to maintain a 16-foot width appropriate for general and emergency access.

In addition to the fields, the project proposes to construct a $\pm 15,000$ SF, indoor cultivation area, processing and office building and an associated gravel parking area for seasonal employees. The proposed building and parking has been designed in an effort to utilize existing materials, minimize impacts to natural resource areas and the length of utilities from River Street. Greenhouses are proposed to be located to the west of the proposed parking area. Stormwater management systems have been designed to be located along the south and west sides of the proposed parking area. The remainder of the site will remain generally undeveloped and will be utilized as fields for marijuana cultivation. The Applicant plans to utilize more of the site for expanded fields as market and regulatory requirements allow.

Site Uses

The Project has been designed to include indoor and outdoor cultivation areas in order to meet the objectives of the Project. The 15,000 SF building is proposed to be utilized as an indoor growing area and flowering zone to initiate the growth of the crop when adolescent. The greenhouses will be utilized as an outdoor vegetative zone with supplemental lighting to allow the vegetative plants to grow much larger before relocating the plants to agricultural fields onsite. The agricultural fields will then serve as an outdoor flowering zone and consist of approximately 80,000 SF. The agricultural areas are proposed to be enclosed and maintain specific security measures as described in Section 2.4, §167-7.6.

Construction Erosion and Sedimentation Control Measures

The enclosed plans include measures for controlling soil erosion and sediment transport during and after construction of the Project. Temporary sediment control barriers (SCB) will be placed throughout the Property and along the access road where necessary, prior to construction.

Stormwater Management

Development is limited to the proposed fields, a $\pm 15,000$ SF building, greenhouses, and a gravel access and $\pm 20,000$ SF parking area. Roof runoff from the building and greenhouses are considered clean runoff in accordance with the Stormwater Management Standards. The access and parking area have been proposed as gravel to limit disturbance to the site and maintain the existing conditions of the site to the extent feasible. Two detention basins are proposed along the south and west side of the parking area. The proposed stormwater management system has been designed in accordance with the Massachusetts Department of Environmental Protection (MassDEP) Standards. Please refer to Section 4.0 for the Stormwater Management Report and information on the existing and proposed hydrology and compliance with the MassDEP Stormwater Management Policy.

Utilities

Electric/cable/telephone connections are proposed to extend off River Street along the existing access road. An onsite water supply well will be explored and drilled meeting the required setbacks and coordinated with the Board of Health, as needed. Wastewater will be pumped to another location offsite as designed by the landowner and permitted through the Board of Health.

2.4 Design Standards

The following is a discussion of the design standards set forth by the Halifax By-Law:

§167-7 (15) Marijuana Establishments

- 1. No Marijuana Establishment shall be located within 500 (five hundred) linear feet of any school or child care facility or where children generally congregate, any other Marijuana Establishment or any establishment licensed to pour alcohol under the provisions of G.L. c. 138 §12. Distances shall be calculated by direct measurement of a straight line from the nearest property line of the facility in question to the nearest property line of the Marijuana Establishment.*

There are no schools, childcare facilities, or areas where children generally congregate within 500 linear feet of the Property.

- 2. The hours of operation of Marijuana Establishment may be set by the Planning Board, but at no time shall the facilities be open between the hours of 8 pm and 8 am.*

This establishment is not meant to be accessible by the public or for the selling of goods. The establishment would only be open to employees for cultivation practices. The Applicant respectfully requests that the establishment have flexible hours of operation for seasonal agricultural needs. There are no anticipated visuals, noise or traffic related community impacts to having flexible hours of operation.

- 3. The special permit shall be granted for a term of 2 years from the dates of issuance. A renewal application shall be submitted 90 days prior to expiration date of the special permit and will be subject to a public hearing in accordance with G.L. c.40A § 9, 11 and 15. The special permit will become null and void if the applicant does not construct or commence within one year of granting a permit.*

The Applicant acknowledges the above requirement.

4. *In addition to this by-law, any permit applied for and/or issued for a Marijuana Establishment shall comply with all State laws and regulations concerning Marijuana Establishments.*

The Project has been designed to comply with all State and Local laws and regulations associated with the use.

5. *There will be no displayed products in the facilities windows or be visible from any street or parking lot.*

The Marijuana Establishment is not meant to be accessible by the public or for the selling of goods. There will not be any products displayed or visible from the street or parking lot.

6. *Business owners shall provide security measures for the facility to include one or more fencing, lighting, surveillance cameras, gates and alarm system to ensure the safety of any persons and to protect the premises from theft.*

As required, fencing, cameras and lighting will be installed at the proposed farm and comply with the Cannabis Control Commission (CCC) Security Regulations.

7. *Signage will conform to the current sign by-laws in section 167-13 and any exterior sign may identify the establishment but will not contain any other advertisement. [Added 05-08-2017, ATM, Art. 48]*

Any signage proposed will comply with the Bylaw.

§167-14 Off-street Parking

1. *In any district where permitted, no use of the premises shall be authorized or extended and no building or structure shall be erected or enlarged unless there is provided for such extension, erection or enlargement off-street automobile parking space within three hundred (300) feet of the principal building, structure or use of the premises, in accordance with the following minimum specifications.*

A gravel parking area is proposed within less than 300-feet of the west side of the building. The establishment does not anticipate excessive traffic and the site will only be accessible to approximately 10 employees during the peak seasons.

2. *Each off-street parking space which shall include a paved area of two hundred (200) square feet of appropriate dimensions for the parking of an automobile, exclusive of drives or aisles, shall be considered as an off-street parking space. Such paving may consist of asphalt, concrete or other conventional paving material or of open paving blocks, grass pavers, crushed stone or other material allowing water absorption and reducing runoff, consistent with other applicable regulations so long as the surface is suitable for all-weather use.*

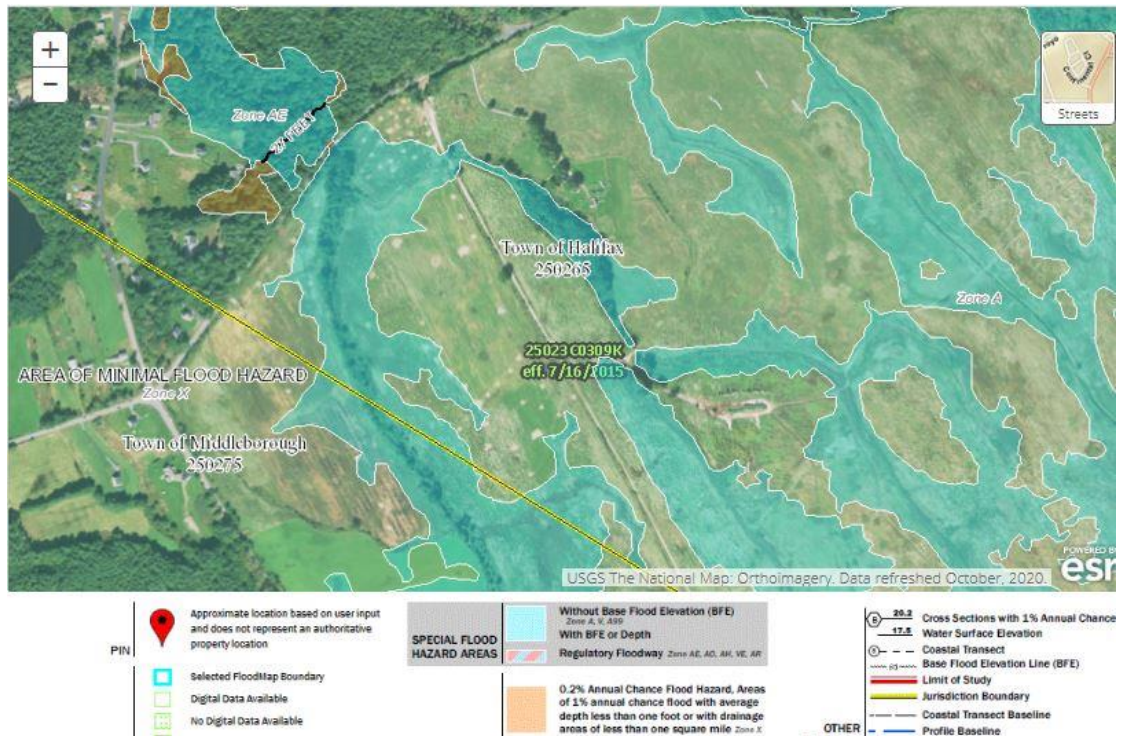
The proposed off-street parking area is proposed to consist of crushed stone that will assist in limiting impervious surfaces onsite and allow for adequate parking through all seasons for the employees. Access to the parking area is proposed to be an approximately 16-foot-wide access drive connecting to an approximately 20,000 SF parking area that has been designed to hold approximately 20 cars with a drive aisle as depicted on the enclosed Plans.

3. *An adequate number of spaces (actual number to be determined by the Planning board on a case-by-case basis) will be required to accommodate customers, patrons and employees at drive-in establishments, open-air retail businesses, amusements and all other permitted uses not specifically enumerated herein.*

The Property will only be accessible to approximately 10 employees during the peak operational seasons and emergency personal, as necessary. The Project is proposed to include enough parking space for approximately 20 vehicles and therefore, respectfully requests that the Planning Board deem this an adequate number of spaces due to the nature of the Project.

§167-15 Floodplain District

In accordance with §167-15 Agricultural uses such as farming, grazing, truck farming, horticulture, etc. are permitted uses within this district. The Applicant does not propose any work, other than a minimal area for a culvert replacement and improvement within the Floodplain District. The following is a discussion of the Floodplain Regulations set forth by the Halifax Bylaw.



1. Within Zone A, where the base flood elevation is not provided on the FIRM, the applicant shall obtain any existing base flood elevation data, and it shall be reviewed by the Building Inspector for its reasonable utilization toward meeting the elevation or flood-proofing requirements, as appropriate, of the State Building Code.

According to the Federal Emergency Management Agency (FEMA) panel 25023C0309K effective July 16, 2015 portions of the site are mapped as a Zone A. There is no base flood elevation data for this area. The remainder of the site, specifically where the structures are proposed onsite, is mapped as Zone X, Area of Minimal Flood Hazard.

2. Base flood elevation data is required for subdivision proposals or other developments greater than 50 lots or five acres, whichever is the lesser, within unnumbered A Zones.

The Project proposes to develop less than five acres of impervious area and therefore, base flood elevation data is not required.

3. *In the floodway, designated on the Flood Boundary and Flood Insurance Rate Map, the following provisions shall apply:*
- a. *All encroachments, including fill, new construction, substantial improvements to existing structures and other development, are prohibited unless certification by a registered professional engineer or architect is provided by the applicant demonstrating that such encroachment shall not result in any increase in flood levels during the occurrence of the one-hundred-year flood.*

Work proposed within the floodplain is insubstantial and consists only of a small area along the drainage ditch to improve the culvert for the driveway crossing.

- b. *Any encroachment meeting the above standard shall comply with the floodplain requirements of the State Building Code.*

Refer to 3.a. above.

4. *The Floodplain District is established as an overlay district to all other districts. All development in the district, including structural and non-structural activities, whether permitted by right or by special permit must be in compliance with Chapter 131, Section 40 of the Massachusetts General Laws and with the following:*
- a. *Sections of the Massachusetts State Building Code (780 CMR);*
b. *Wetlands Protection Regulations, Department of Environmental Protection (DEP)(currently 310 CMR 10.00);*
c. *Inland Wetlands Restriction, DEP (currently 310 CMR 13.00);*
d. *Minimum Requirements for the Subsurface Disposal of Sanitary Sewage, DEP(currently 310 CMR 15, Title 5);*

The Applicant acknowledges the following requirements, and the Project has been designed to comply the standards outlined above.

§167-28 Site Plan Requirements

1. *In considering a site plan, the Planning Board shall seek to assure reasonable use of the site according to the following criteria:*
- a. *Protection of adjoining premises against detrimental uses of the site during and after construction.*

The Property is generally surrounded by undeveloped land in similar use and a solar array development. The Project is harmonious with the adjacent uses and proposes to install security measures as described herein, sedimentation control barriers (SCB's), and stormwater management systems as depicted on the enclosed site plans. Therefore, the Project will not have detrimental impacts to adjoining properties.

- b. The convenience and safety of vehicular and pedestrian traffic movement within the site and movement to and from the site, considering adjacent streets, property and improvements and alternate routes between the site and nearby destinations.*

The Project will be accessed by approximately 10 employees per day and will not be accessible to the public. Access to the site is will utilize the existing gravel road off River Street to the parking area onsite.

- c. Adequacy of the methods for controlling surface water during and after construction, particularly the potential for minimal or zero (0) increase in storm runoff for storms of up to the twenty-five-year interval.*

Refer to the enclosed Stormwater Management Report in Section 4.0.

- d. Provision for the off-street loading and operation of vehicles incidental to the normal operation of the establishment.*

If necessary, off-street loading will take place within the gravel parking area as depicted on the enclosed Plans.

- e. Functional and aesthetic compatibility of the development with uses existing or allowed on adjacent properties.*

The site was used historically for agriculture and will continue in that regard, maintaining the existing function and aesthetics of the site. The building is significantly set back from River Street and abuts a neighboring large scale solar array. The Project is not anticipated to be visible from the road and therefore, the Project will not impact the surrounding properties or community.

- f. Residential privacy provided by site and unit layout.*

The only abutting residents are generally to the north of the Property, across River Street. Due to the agricultural nature of the Project, it is not anticipated to create a nuisance or be visible to the abutting residents across River Street to the northwest of the Property.

- g. Adequacy of the site for any expansion allowed by applicable density standards.*

The Project has been designed to be compliant with the density standards outlined in §167-12 of the Bylaw.

2.5 Waiver Requests

The Applicant respectfully requests a waiver from the Town of Halifax Site Plan Checklist that requires “*Renderings and Plans of all buildings and structures*”. The proposed building and greenhouses and their dimensions have been depicted on the enclosed Site Plans. However, provided the Project is in the preliminary stages, renderings of the proposed building have not yet been completed.

2.6 Summary

The Project proposes to construct a marijuana farm including an appurtenant building, greenhouses and fields on a ±47-acre portion of a larger property. The low impact Project has been designed to comply with the Bylaw as referenced herein. Therefore, the Applicant respectfully requests the issuance of a Special Permit and Site Plan Approval for the proposed Project.

Section 3.0

Abutter Information

Halifax Certified List of Abutters
Middleborough Certified List of Abutters
Abutting Towns

Town of Halifax Assessing Department
499 Plymouth Street
Halifax, MA 02338

Telephone: (781) 293-1721
Kelly.Dwyer@halifax-ma.org

Board of Assessors
John Shiavone
Thomas Millias
Holly J. Merry, MAA

REQUEST FOR CERTIFIED ABUTTERS LIST

MAP 117 LOT 1 BOOK 04273 PAGE 0374

PARCEL ADDRESS REQUESTED 111 River Street

RECORD OWNER V. S. Haseotes & Sons Acct

CONTACT PERSON Caroline Booth TELEPHONE# 508-366-0560 x 4806

MAILING ADDRESS 144 Turnpike Road Southborough, MA 01772

SIGNATURE Caroline Booth DATE 12/3/2020

COST: \$25.00

- | | |
|---|---|
| <input type="checkbox"/> - Board of Selectmen | <input checked="" type="checkbox"/> - Planning Board 300' |
| <input type="checkbox"/> 100'- Conservation Commission | <input type="checkbox"/> 300'-Zoning Board of Appeals |
| <input type="checkbox"/> 100'- Historic District Commission | <input type="checkbox"/> Other |

CERTIFIED LIST OF ABUTTERS

This is to certify that at the time of the last assessment for taxation made by the Town of Halifax, the names and addresses of the parties assessed as adjoining owners to the parcel land shown as above written.

Debbie Dean MAA
Holly J. Merry, MAA
Debbie Dean, MAA

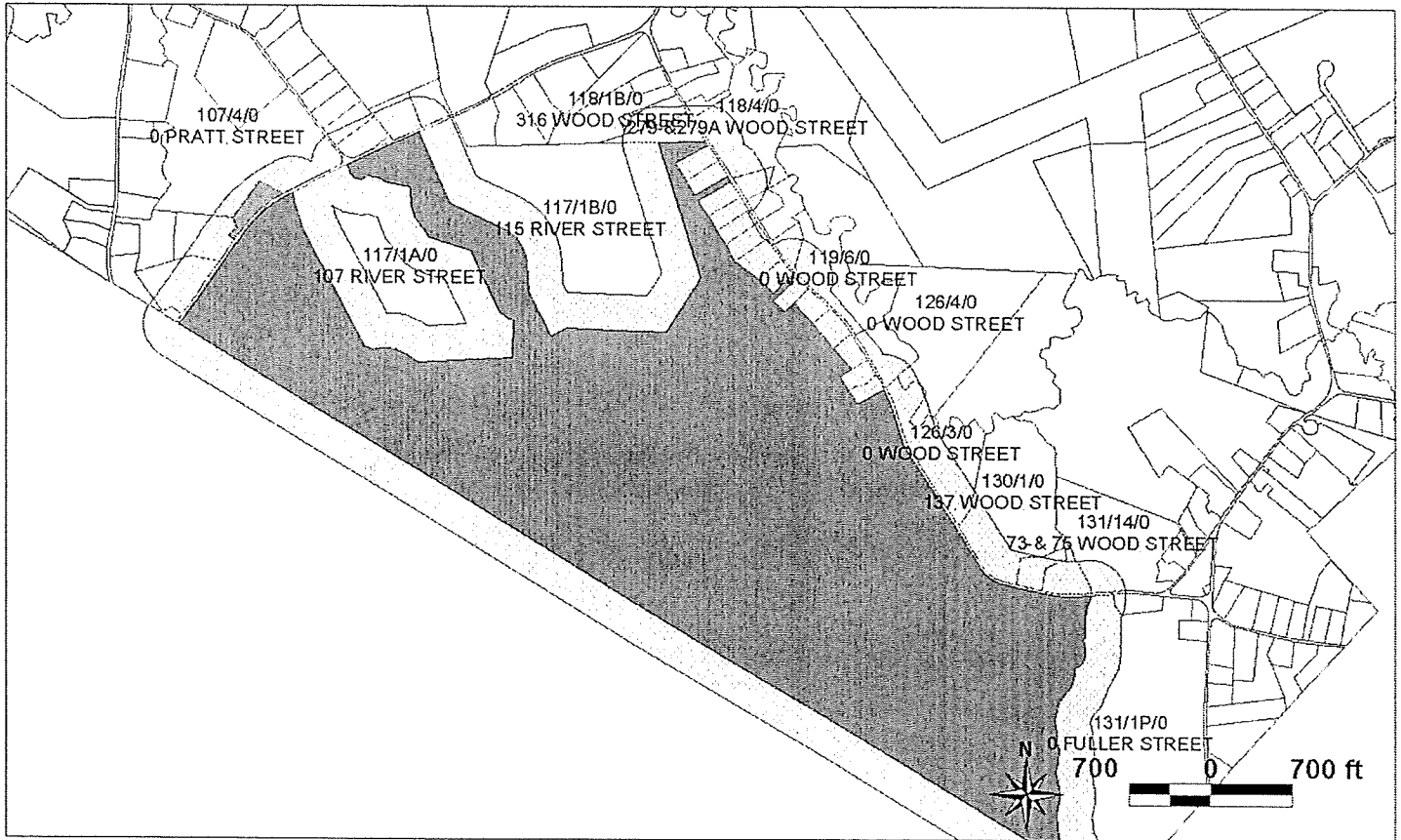
12-8-20
Date

NOTE: This abutter's list will be valid for three (3) months from the date of signature. After that date a NEW list must be requested.



TOWN OF HALIFAX, MA
BOARD OF ASSESSORS
499 PLYMOUTH ST

Abutters List Within 300 feet of Parcel



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
447	107-4-0-R	BRIGGS WYMAN H C/O BRIGGS MARK	0 PRATT STREET	153 N. MAIN ST APT # 5	MIDDLEBORO	MA	02346
13100	116-2B-0-R	JOYCE JASON E	0 THOMPSON STREET	2 THOMPSON STREET	MIDDLEBORO	MA	02346
2930	117-1-0-R	HASEOTESV S & SONS ACCT H44A	111 RIVER STREET	P O BOX 8000	CUMBERLAND	RI	02864
13597	117-1A-0-R	HALIFAX SOLAR LLC	107 RIVER STREET	P O BOX 179 363 MAIN ST	BOXFORD	MA	01921
13598	117-1B-0-R	HASEOTESV S & SONS ACCT H44A	115 RIVER STREET	P O BOX 8000	CUMBERLAND	RI	02864
10821	117-2A-0-R	COOK JEROME M	112 RIVER STREET	112 RIVER STREET	HALIFAX	MA	02338
10992	117-2B-0-R	HILLIARD PHILIP S HILLIARD KATHERINE	116 RIVER STREET	116 RIVER ST	HALIFAX	MA	02338-1707
13101	117-2D-0-R	BAILEY DANIEL T & BEAN STEPHANIE D	10 RIVER STREET	10 RIVER STREET	HALIFAX	MA	02338
2193	117-8-0-R	FORD STEPHEN & FORD JENNIFER L	11 PRATT STREET	11 PRATT STREET	HALIFAX	MA	02338
811	117-9-0-R	DALY JOHN J JR TR JOHN J DALY JR REVOC TRUST II	3 PRATT STREET	3 PRATT STREET	HALIFAX	MA	02338
1410	118-1-0-R	KEENE ROY A & BRANDON A	312-&312A WOOD STREET	312 WOOD STREET	HALIFAX	MA	02338
10243	118-1B-0-R	SICKOLL JONATHAN E	316 WOOD STREET	316 WOOD STREET	HALIFAX	MA	02338
10495	118-1C-0-R	CAMPBELL BRANDY L & FRANK A	282 WOOD STREET	27 CRESCENT AVENUE	SCITUATE	MA	02066
10496	118-1D-0-R	MCKENNA THOMAS J MCKENNA KAREN A	258 WOOD STREET	258 WOOD STREET	HALIFAX	MA	02338-1901
10550	118-1F-0-R	HASEOTESV S & SONS ACCT H44A	296 WOOD STREET	P O BOX 8000	CUMBERLAND	RI	02864

Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
10549	118-1G-0-R	HASEOTES V S & SONS ACCT H44A	276 WOOD STREET	P O BOX 8000	CUMBERLAND	RI	02864
10548	118-1H-0-R	LALIBERTE CATHLEEN D	270 WOOD STREET	270 WOOD STREET	HALIFAX	MA	02338
10547	118-1I-0-R	DWYER RYAN & DRISCOLL JENNIFER	262 WOOD STREET	262 WOOD STREET	HALIFAX	MA	02338
10546	118-1J-0-R	HASEOTES V S & SONS ACCT H44A	254 WOOD STREET	P O BOX 8000	CUMBERLAND	RI	02864
412	118-4-0-R	MADDEN DONALD J TRUSTEE EDWARD J BOUTEMEIN IRREV TRUST	279-8279A WOOD STREET	P.O. BOX 193	HALIFAX	MA	02338
2165	118-4A-0-R	MARBLE KURT	275 WOOD STREET	265 WOOD STREET	HALIFAX	MA	02338
1643	118-5A-0-R	MARBLE LAWRENCE J JR TRUSTEE MARBLE JOY TRUSTEE	265-265A WOOD STREET	265 WOOD STREET	HALIFAX	MA	02338-1903
1011	118-6A-0-R	FERBERT MARY E FERBERT DONALD F	307 WOOD STREET	307 WOOD STREET	HALIFAX	MA	02338
2161	118-11A-0-R	NORVISH DAVID W NORVISH MICHELLE	304-304A WOOD STREET	304 WOOD STREET	HALIFAX	MA	02338-1912
10497	119-1E-0-R	MARBLE BRAD LAWRENCE	248 WOOD STREET	248 WOOD STREET	HALIFAX	MA	02338
11012	119-6-0-R	ADGA REALTY LLC	0 WOOD STREET	90 WALNUT STREET	HALIFAX	MA	02338
2320	119-7-0-R	SMITH SHAYDON N	251 WOOD STREET	251 WOOD STREET	HALIFAX	MA	02338
13099	123-2A-0-R	BRANCH BANKING & TRUST CO	0 RIVER STREET	111 MILLPORT CIRCLE	GREENVILLE	SC	29607
13098	123-2C-0-R	JOHNSON CORY E	2 RIVER STREET	2 RIVER STREET	HALIFAX	MA	02338
10545	126-1K-0-R	HASEOTES V S & SONS ACCT H44A	242 WOOD STREET	P O BOX 8000	CUMBERLAND	RI	02864
10558	126-1L-0-R	KELLIHER MICHAEL	204 WOOD STREET	PO BOX 304	HALIFAX	MA	02338
10559	126-1M-0-R	FLYNN ALEXANDER R FLYNN MICHELLE M	196 WOOD STREET	196 WOOD STREET	HALIFAX	MA	02338
1793	126-2-0-R	MINOTT BRUCE	0 WOOD STREET	C2-5 LYDON LANE	HALIFAX	MA	02338-1412
2212	126-3-0-R	GREW JOHN A & LINDA A TRUSTEES GREW FAMILY TRUST	0 WOOD STREET	99 FULLER STREET	HALIFAX	MA	02338
1796	126-4-0-R	MINOTT BRUCE	0 WOOD STREET	C2-5 LYDON LANE	HALIFAX	MA	02338-1412
2141	126-6-1-R	GALLAGHER LOUISE	208 WOOD STREET	208 WOOD STREET	HALIFAX	MA	02338-1901
2142	126-6-2-R	KETCHUM JOHN V KETCHUM LINDA	222 WOOD STREET	222 WOOD STREET	HALIFAX	MA	02338-1901
1398	126-6-3-R	SPACCO ANTHONY	238-8238A WOOD STREET	238 WOOD STREET	HALIFAX	MA	02338
2214	130-1-0-R	CAMPBELL MATTHEW SCOTT & CAMPBELL KIMBERLY MAY	137 WOOD STREET	112 FULLER STREET	HALIFAX	MA	02338
1391	130-2-0-R	DONOVAN WILLIAM C & ANNE F-TRS	99 WOOD STREET	99 WOOD STREET	HALIFAX	MA	02338
1879	130-3-0-R	WALSH RENELLE M WALSH JOHN E	105 WOOD STREET	105 WOOD STREET	HALIFAX	MA	02338
10911	131-1P-0-R	ADGA REALTY LLC	0 FULLER STREET	90 WALNUT STREET	HALIFAX	MA	02338
2484	131-14-0-R	SIMONTON PATRICIA SIMONTON PAUL	73- & 75 WOOD STREET	73 WOOD STREET	HALIFAX	MA	02338-1904
2072	131-18-0-R	POWERS LAWRENCE P & FERNANDES-POWERS M ELAINETRS	72 WOOD STREET	PO BOX 455	HALIFAX	MA	02338

13043 117-12 Kennedy Robert & Elizabeth J 18 River street 7 crescent street Bridgewater MA 02338



Middleborough Assessor's Office
10 Nickerson Avenue
Middleborough, MA 02346

ABUTTER'S LIST CERTIFICATION PAGE*

Date: January 5, 2021

Planning Board- Town of Halifax

Board Name for Certification

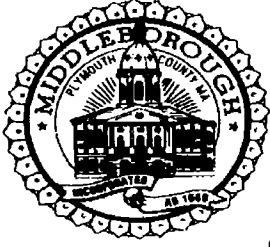
This is a certified abutter's list for 300 feet in every direction, including across the street, from Map 117 Lot 1 located off River St in the town of Halifax, MA. This list contains ONLY the parcels located in the Town of Middleborough.

N. Lesperance

Nicole Lesperance, Sr. Clerk
Middleborough Board of Assessors

(This list consists of 1 page with 4 lots)

*Please note there is no additional charge for this page and it is intended to certify the information on the preceding or attached document (s).

LOCUS		OWNER NAME	APPLICANT NAME	PAGES			
RIVER ST (OFF) TOWN OF HALIFAX MAP 117 LOT 1		V.S. HASEOTES & SONS ACCT	BUD'S GOODS & PROVISIONS C/O CAROLINE BOOTH	1 OF 1			
Reason For Project		NAME OF BOARD	CONTACT #	DATE			
SPECIAL PERMIT- MARIJUANA GROWING ESTABLISHMENT		PLANNING BOARD- TOWN OF HALIFAX	508-366-0560	1/5/2021			
parcel ID	Location	Owner name	C/O Owner	Mailing Address	City	State	Zip
015-3155	FULLER ST	ADGA REALTY LLC	C/O CHAZ	96 MAIN ST	BRIDGEWATER	MA	02324
006-2255	THOMPSON ST	HASEOTES, V S & SONS		PO BOX 8000	CUMBERLAND	RI	02864
003-3399	112 RIVER ST	MOBARK, MATTHEW D & KELLYANN		112 RIVER ST	MIDDLEBORO	MA	02346
003-4166	110 RIVER ST	WEBBER, DANIEL & LEAH		110 RIVER ST	MIDDLEBORO	MA	02346

Halifax, Massachusetts
Abutting Towns

Middleborough Planning Board
Town Hall Annex
20 Center Street
Middleborough, MA 02346

Bridgewater Planning Board
Municipal Office Building
66 Central Square
Bridgewater, MA 02324

East Bridgewater Town Hall
Town of East Bridgewater
175 Central Street
East Bridgewater, MA 02333-0386

Hanson Planning Board
Town Hall
542 Liberty Street
Second Floor
Hanson, MA 02341

Pembroke Planning Board
Town Hall
100 Center Street
Pembroke, MA 02359

Plympton Planning Board
5 Palmer Road
Plympton, MA 02367

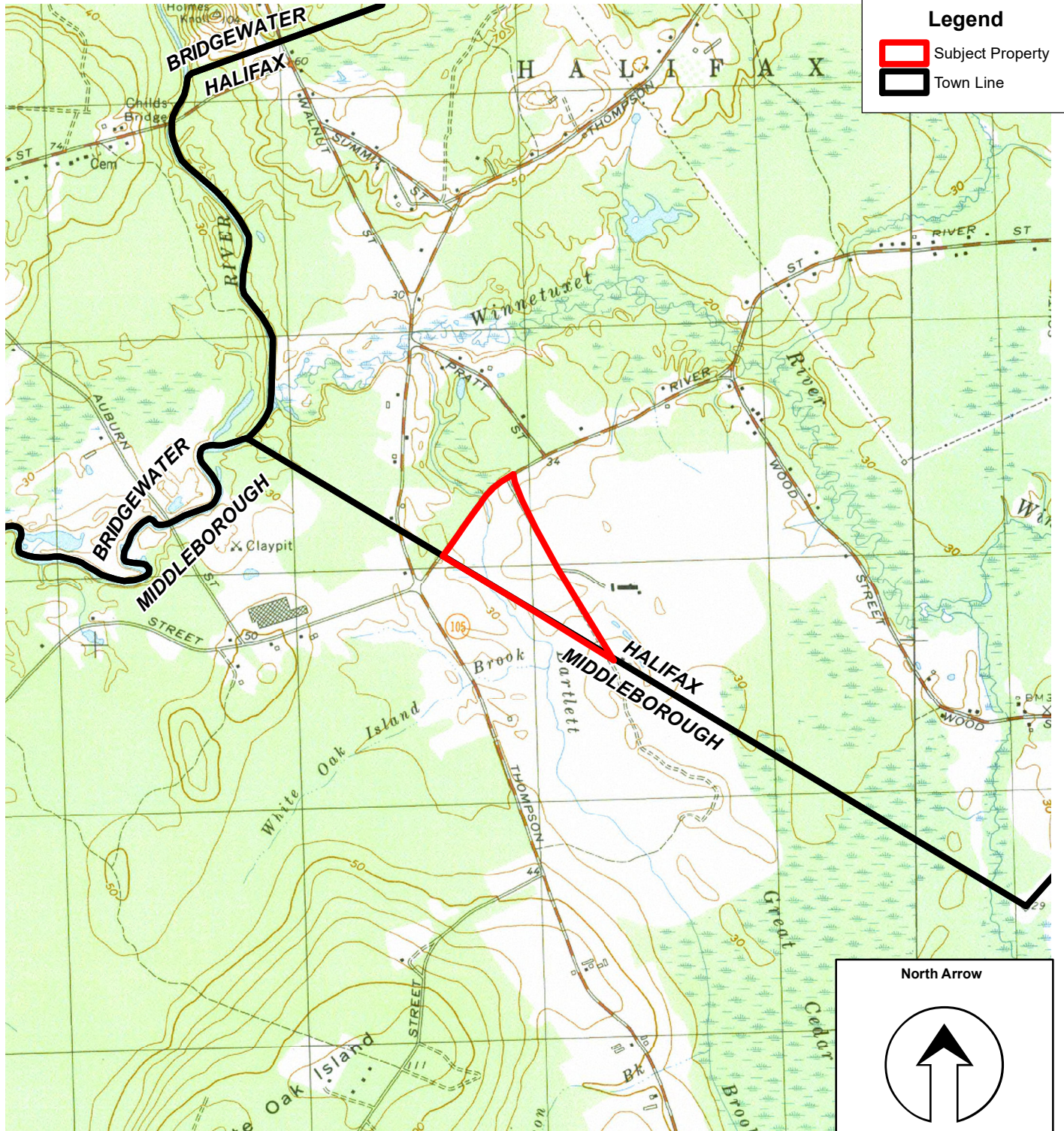
Section 4.0
Stormwater Management Information

Stormwater Management Report (*Under Separate Cover*)

Section 5.0 **Plans**

Locus Map
Aerial Map
Abutter Exhibit

Bud's Goods Cultivation & Product Manufacturing Farm
Prepared by Beals and Thomas, Inc.
In 11 Sheets
Dated January 22, 2021



Legend

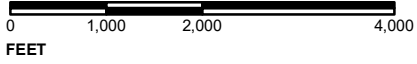
- Subject Property
- Town Line

North Arrow

NORTH

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Digital USGS Map of Halifax, MA, dated 1995, updated 2001, provided by the Bureau of Geographic Information (MassGIS), Commonwealth of Massachusetts, Executive Office of Technology and Security Services.



PROJECT:

Locus Exhibit
Halifax, Massachusetts

PREPARED FOR:

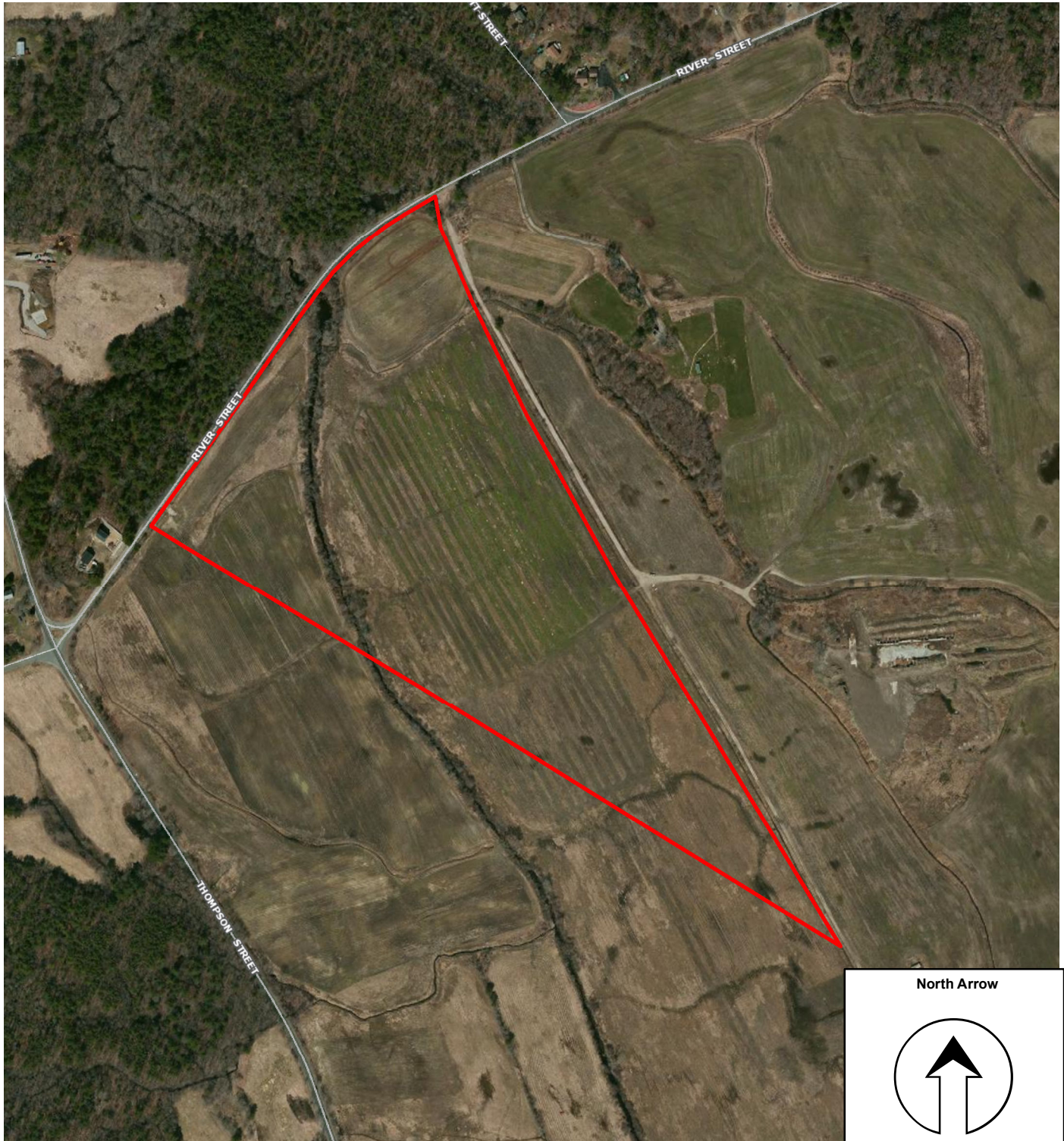
Bud's Good & Provisions
54 West Boylston Street
Worcester, Massachusetts

Locus Map
Figure 1

Scale: 1" = 2,000'

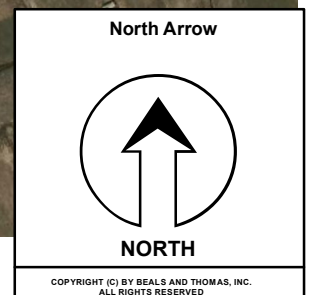
Date: 08/19/2020

Source File 316900P001B.mxd
B+T Project No. 3169.01



Digital orthophotograph, dated 2015, provided by the Bureau of Geographic Information (MassGIS), Commonwealth of Massachusetts, Executive Office of Technology and Security Services.

0 250 500 1,000
FEET



PROJECT:

Aerial Exhibit
Halifax, Massachusetts

PREPARED FOR:

Bud's Goods & Provisions
54 West Boylston Street
Worcester, Massachusetts

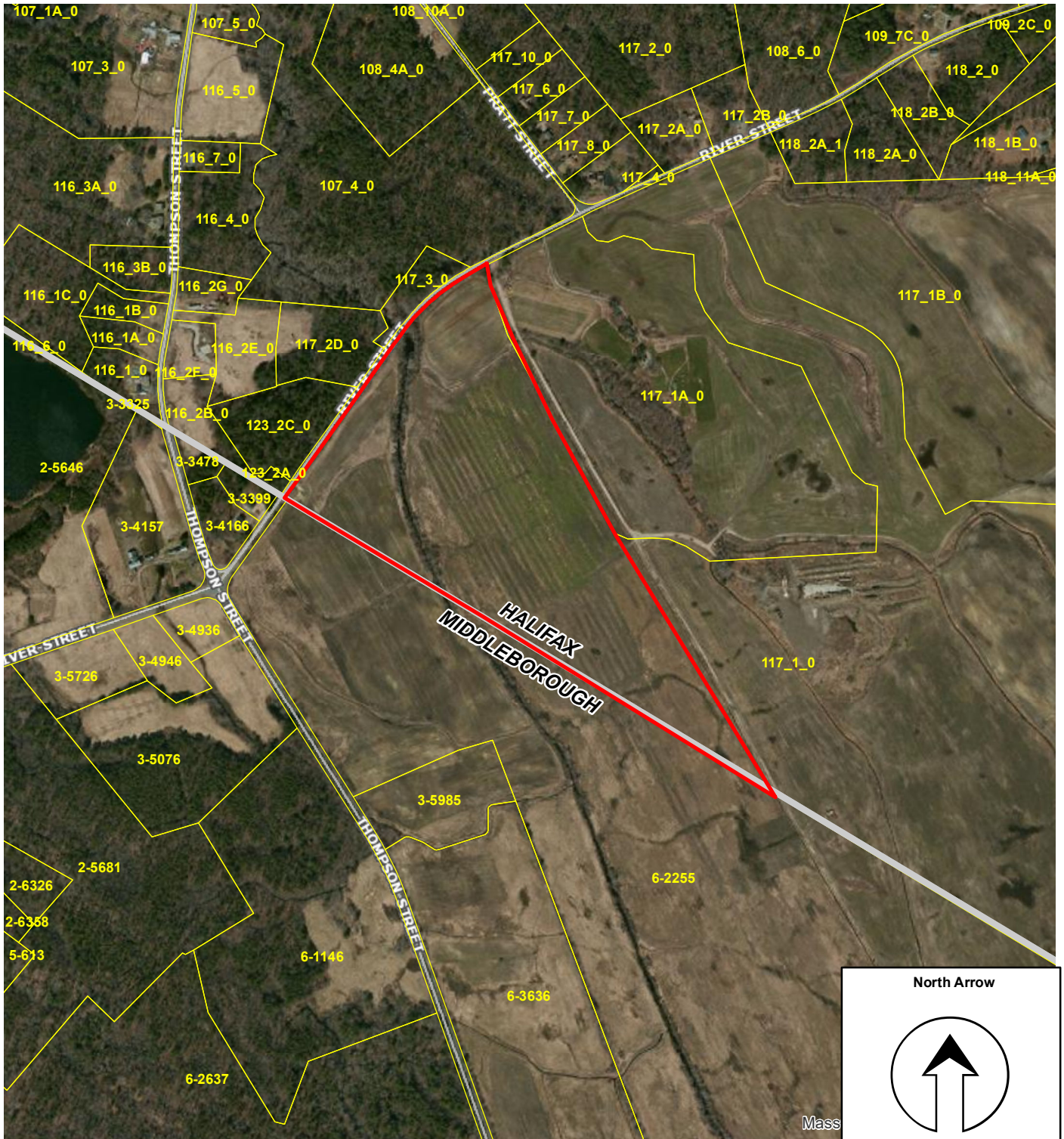
Aerial Map
Figure 1

Scale: 1" = 500'

Date: 02/27/2020

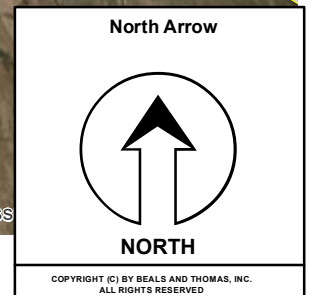
Source File 316900P001A.mxd

B+T Project No. 3169.00



Digital orthophotograph, dated 2015, provided by the Bureau of Geographic Information (MassGIS), Commonwealth of Massachusetts, Executive Office of Technology and Security Services.

0 350 700 1,400
FEET



PROJECT:

Abutter Exhibit

Halifax, Massachusetts

PREPARED FOR:

Bud's Goods & Provisions
54 West Boylston Street
Worcester, Massachusetts

Aerial Map

Figure 1

Scale: 1" = 700'

Date: 01/22/2021

Source File 316900P001C.mxd

B+T Project No. 3169.00