MSBA ACCELERATED REPAIR PROGRAM ROOF REPLACEMENT

HALIFAX ELEMENTARY SCHOOL

464 PLYMOUTH ST HALIFAX, MA 02338 MSBA PROJECT # 201601180005

CONSTRUCTION DOCUMENTS MAY 24, 2017

ADDENDUM #1-JUNE 02, 2017 ADDENDUM #3 - JUNE 12, 2017)-

<u>ARCHITECT</u> **HABEEB & ASSOCIATES** ARCHITECTS, INC. 150 LONGWATER DRIVE NORWELL, MA 02061 TEL: 781-871-9804 / FAX: 781-871-9805 www.habeebarch.com

OWNER'S PROJECT MANAGER THE VERTEX COMPANIES, INC. 400 LIBBEY PARKWAY WEYMOUTH, MA 02189 TEL: 781-952-6000 www.jlemieux@vertexeng.com

OWNERSHIP AUTHORITY TOWN OF HALIFAX 499 PLYMOUTH ST. HALIFAX, MA 02338 TEL: 781-293-6557

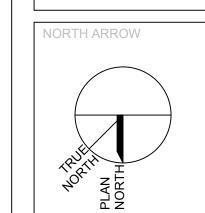
MEP CONSULTANT SHEKAR & ASSOCIATES, INC. 775 PLEASANT STREET, UNIT 14 EAST WEYMOUTH, MA 02189 TEL: 781-337-8347 shekarco@aol.com

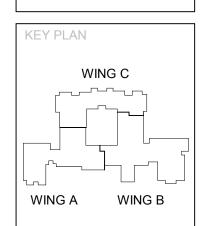
DRAWING LIST

ROOF DETAILS ROOF DETAILS

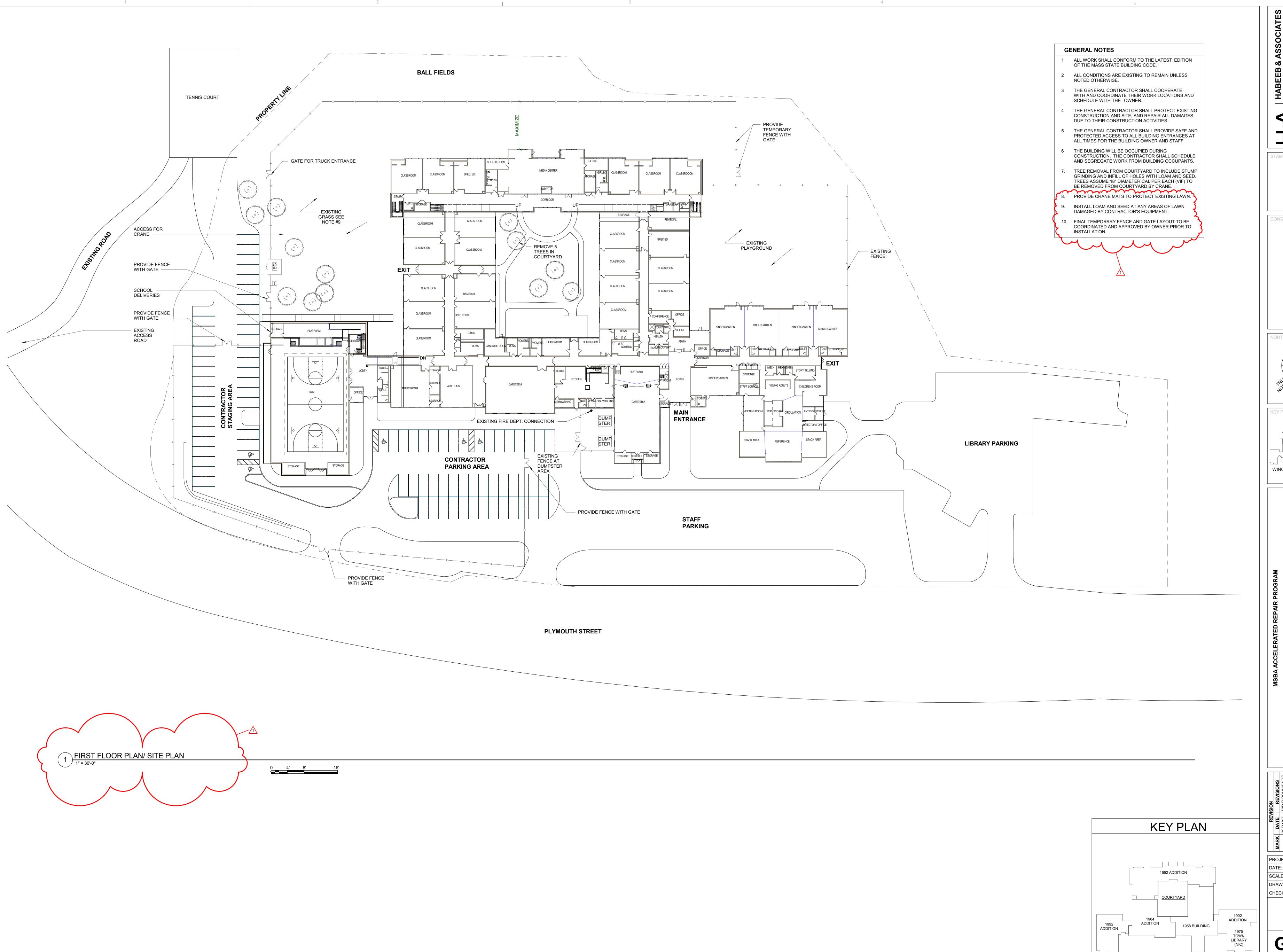
CHIMNEY DETAILS **ROOF DETAILS**

MECHANICAL ROOF PLAN - DEMOLITION



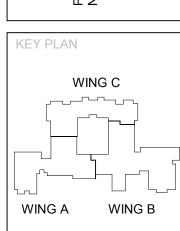


LOCUS PLAN (NOT TO SCALE)





CONSULTANT

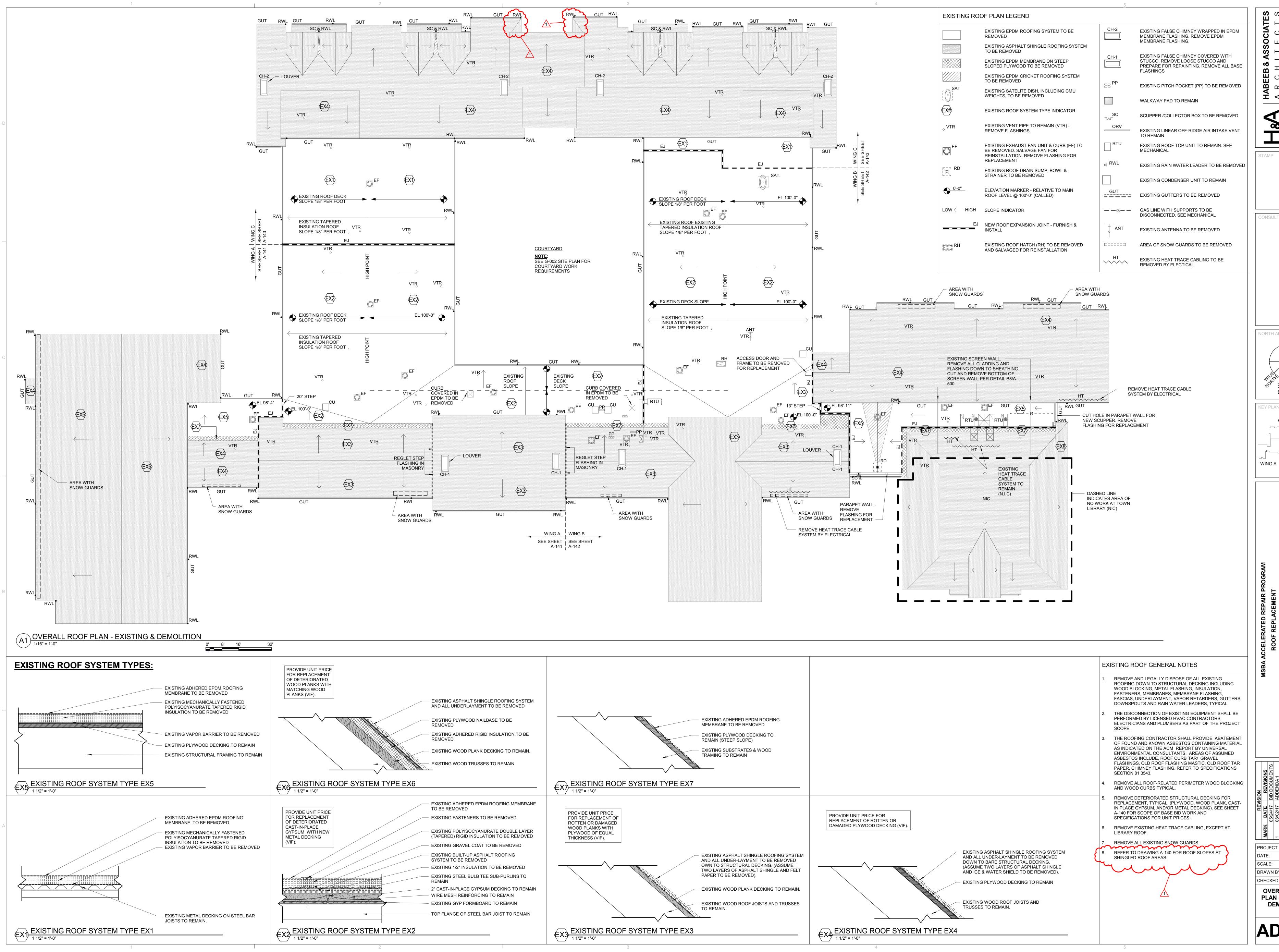


SCHOOL

PROJECT NO: 1614.02 As indicated DRAWN BY: JS CHECKED BY: SB/LM

SITE PLAN

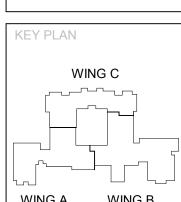
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CONSULTANT

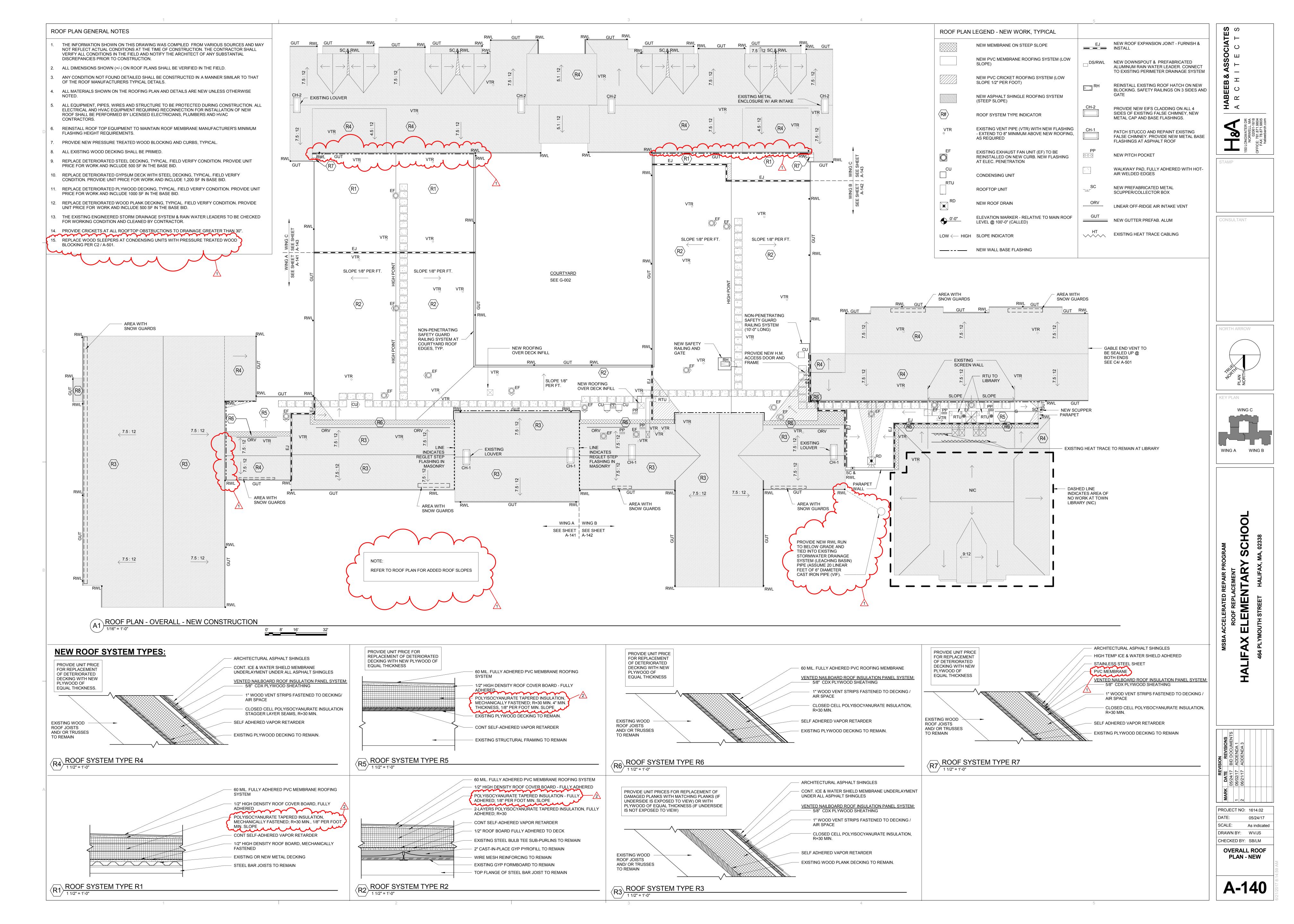


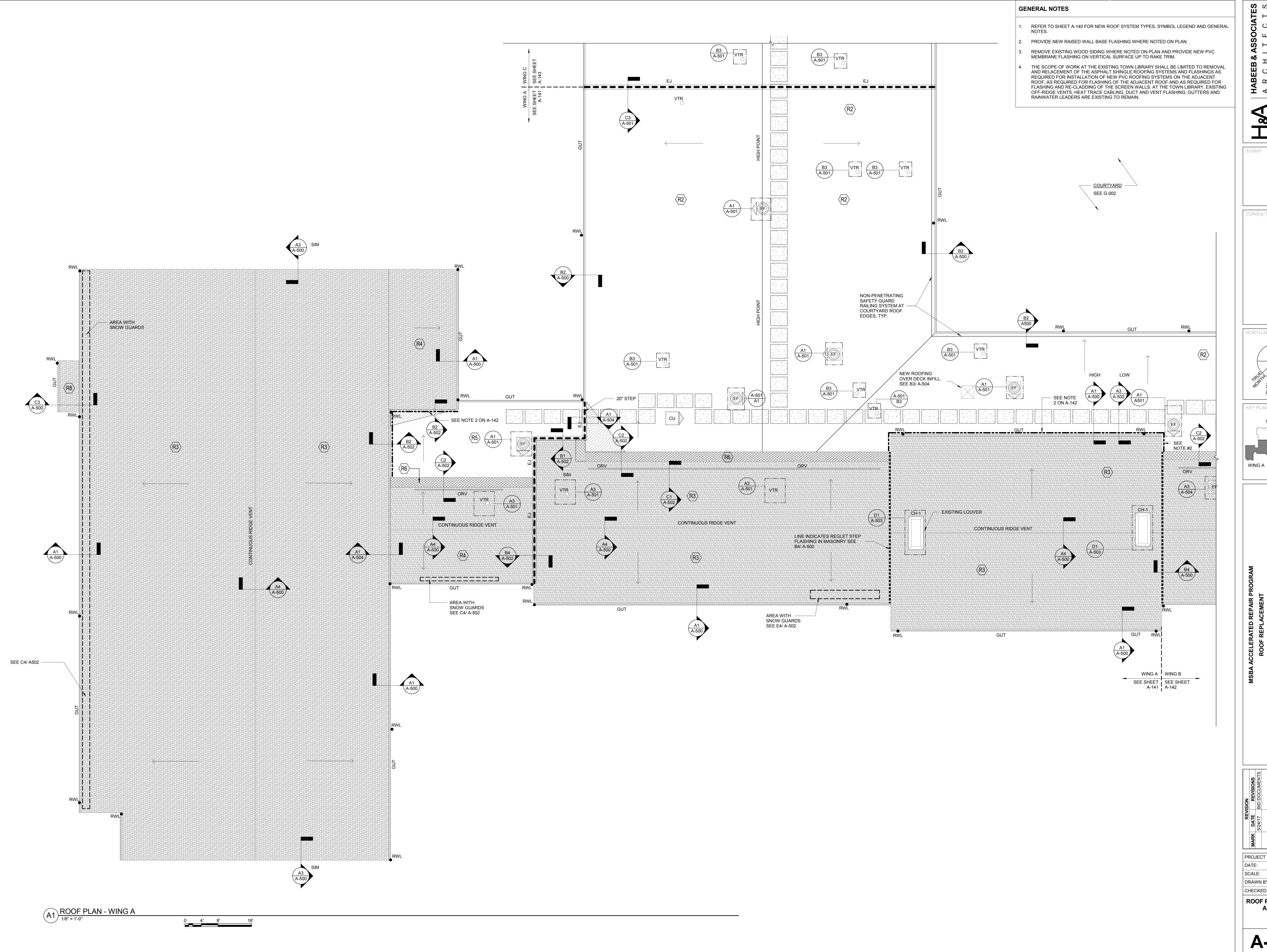
WING B

CHOO

PROJECT NO: 1614.02 05/24/17 As indicated

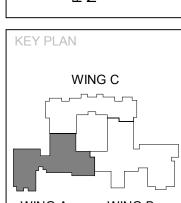
DRAWN BY: Author CHECKED BY: Checker **OVERALL ROOF** PLAN - EXISTING/ DEMOLITION





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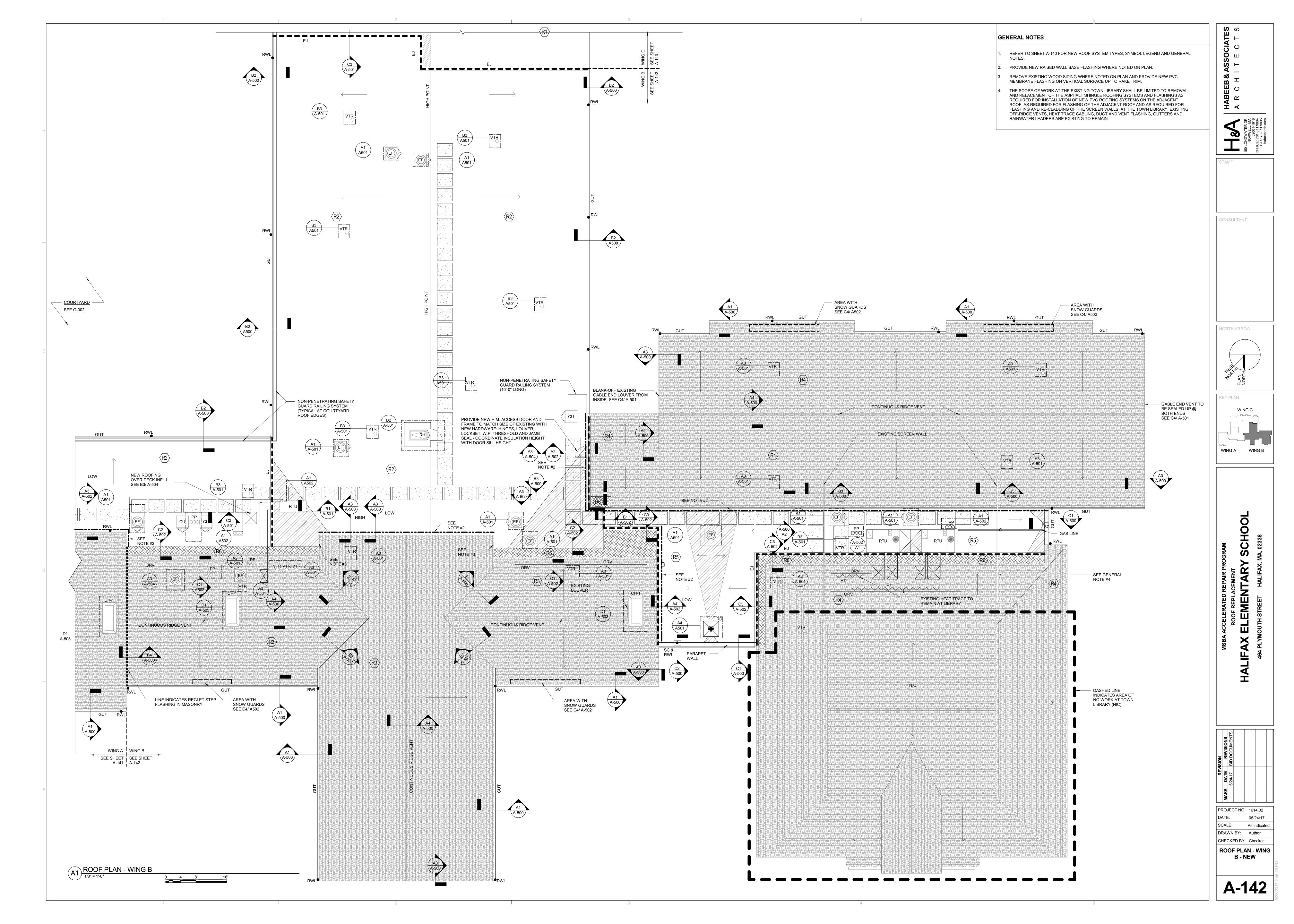
CONSULTANT



PROJECT NO: 1614.02 As indicated DRAWN BY: Author CHECKED BY: Checker

ROOF PLAN - WING A - NEW

A-141



A1 ROOF PLAN - WING C

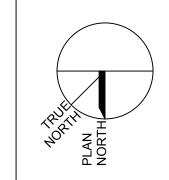
GENERAL NOTES

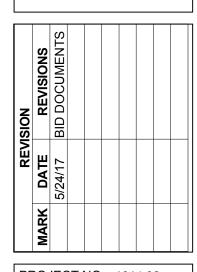
- REFER TO SHEET A-140 FOR NEW ROOF SYSTEM TYPES, SYMBOL LEGEND AND GENERAL
- PROVIDE NEW RAISED WALL BASE FLASHING WHERE NOTED ON PLAN.
- REMOVE EXISTING WOOD SIDING WHERE NOTED ON PLAN AND PROVIDE NEW PVC MEMBRANE FLASHING ON VERTICAL SURFACE UP TO RAKE TRIM.
- THE SCOPE OF WORK AT THE EXISTING TOWN LIBRARY SHALL BE LIMITED TO REMOVAL AND RELACEMENT OF THE ASPHALT SHINGLE ROOFING SYSTEMS AND FLASHINGS AS REQUIRED FOR INSTALLATION OF NEW PVC ROOFING SYSTEMS ON THE ADJACENT ROOF, AS REQUIRED FOR FLASHING OF THE ADJACENT ROOF AND AS REQUIRED FOR FLASHING AND RE-CLADDING OF THE SCREEN WALLS. AT THE TOWN LIBRARY, EXISTING OFF-RIDGE VENTS, HEAT TRACE CABLING, DUCT AND VENT FLASHING, GUTTERS AND RAINWATER LEADERS ARE EXISTING TO REMAIN.

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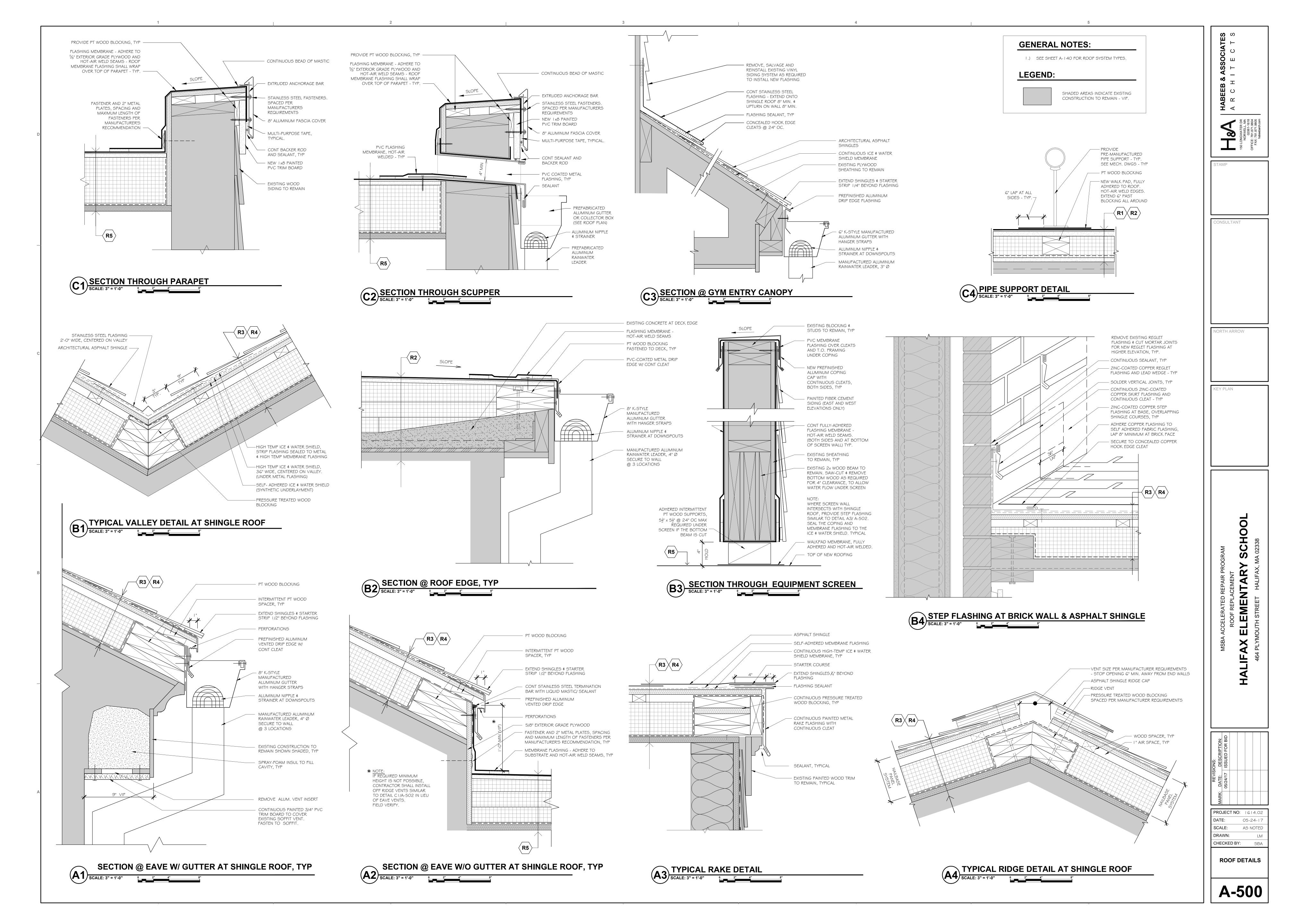


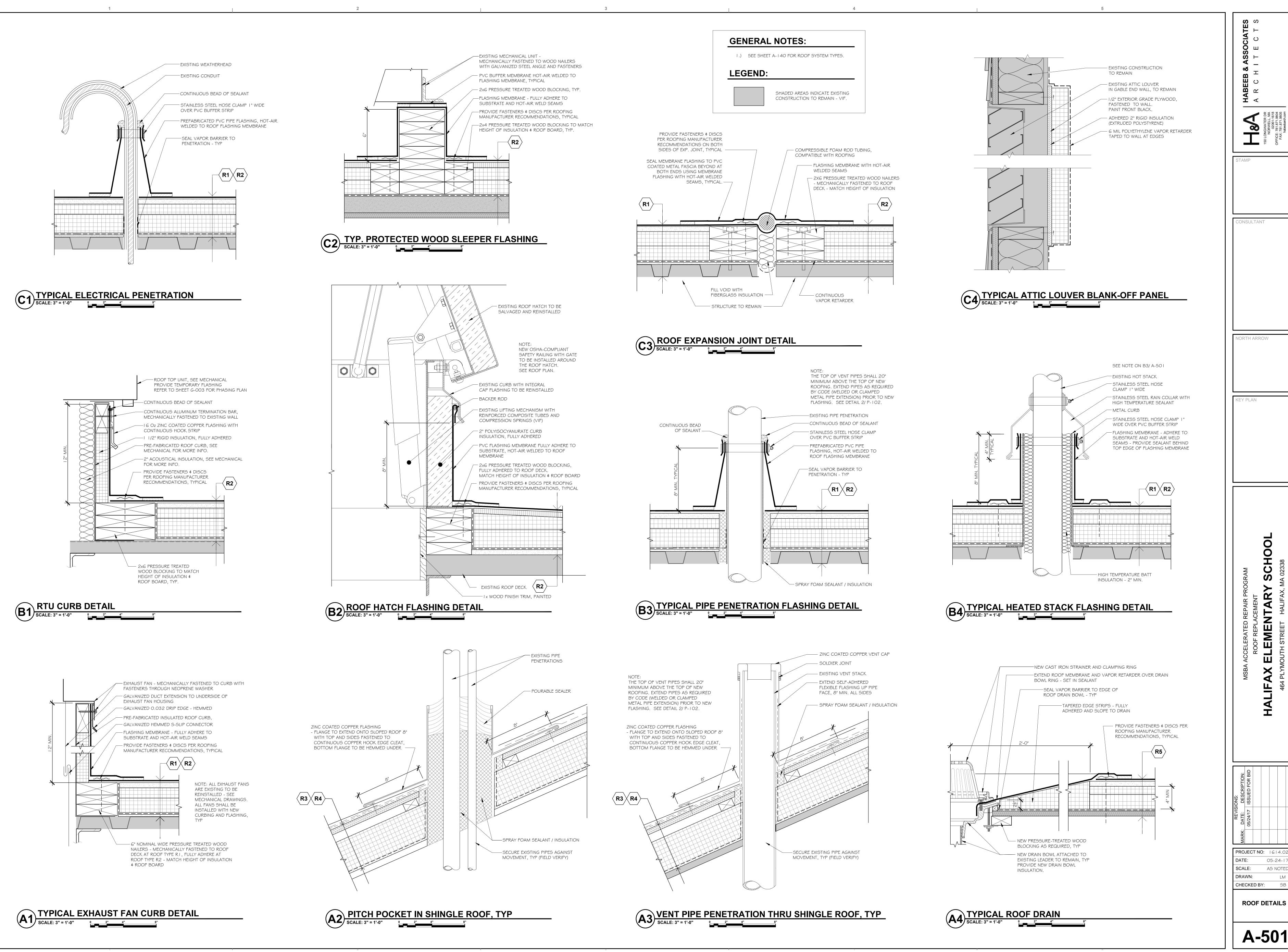


PROJECT NO: 1614.02 SCALE: As indicated DRAWN BY: Author CHECKED BY: Checker

> ROOF PLAN - WING C - NEW

A-143





A-501

NORTH ARROW

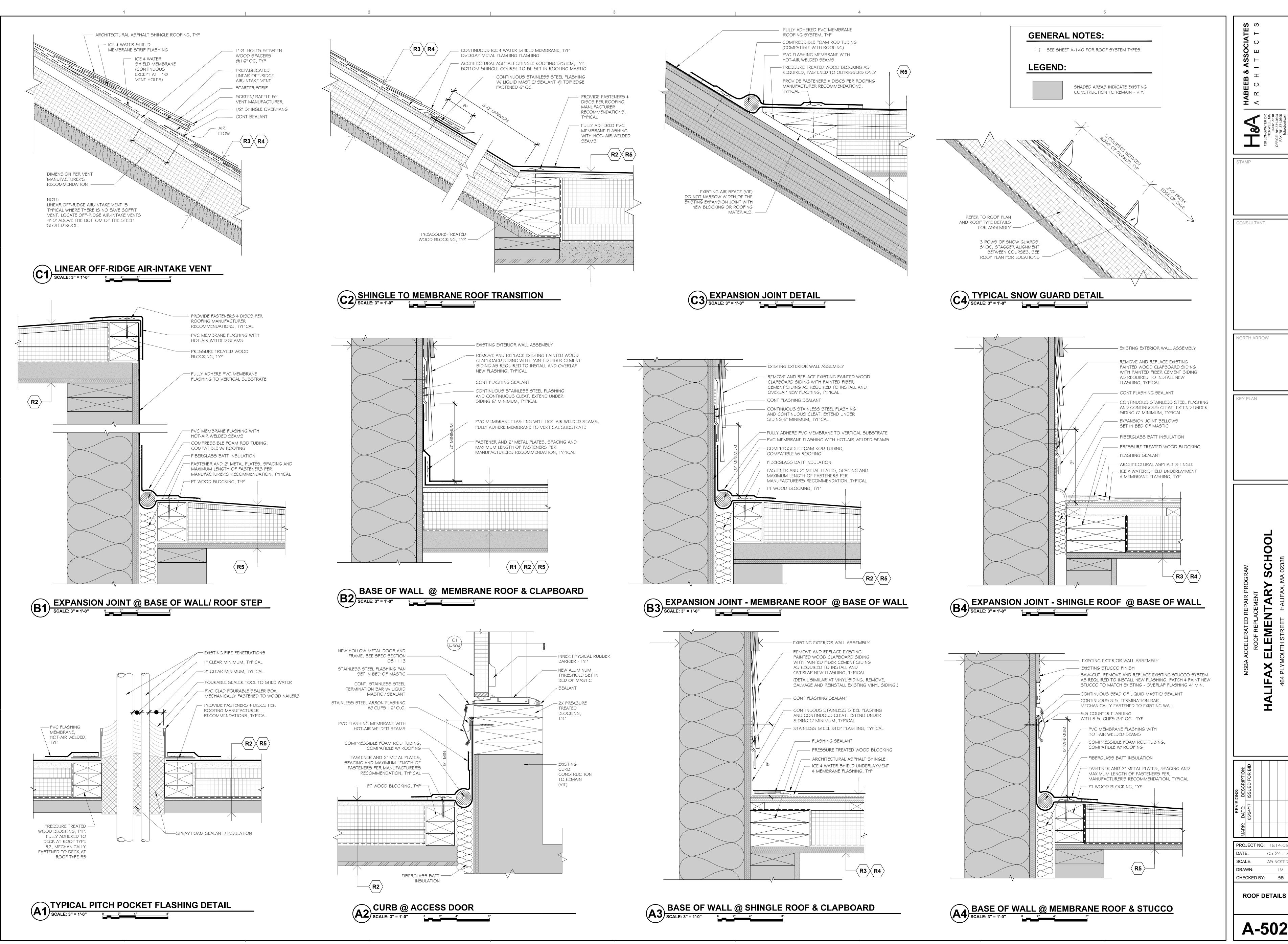
KEY PLAN

C

ROOF DETAILS

05-24-1

AS NOTED

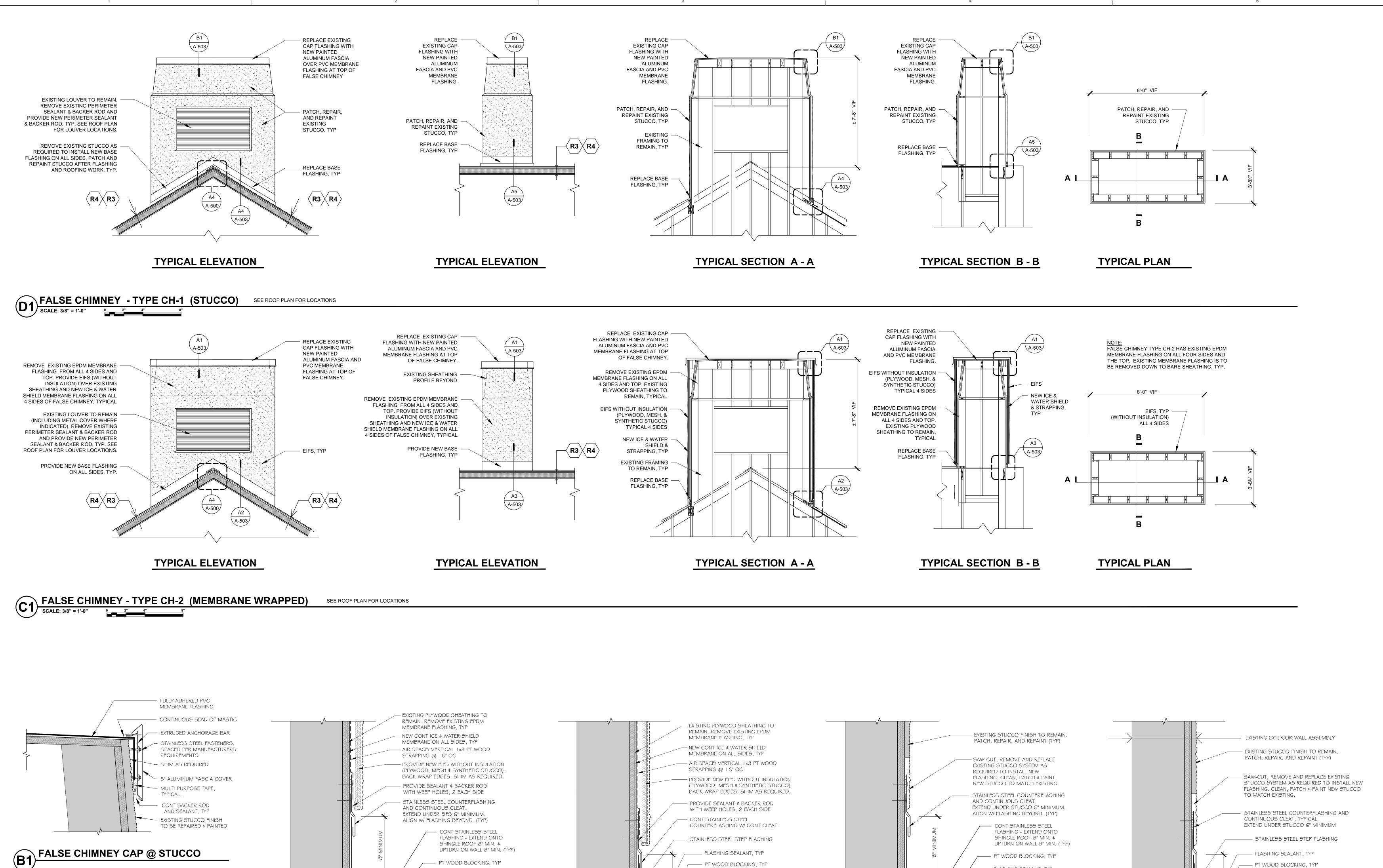


A-502

05-24-1

AS NOTED

C



PT WOOD BLOCKING, TYP

FLASHING, TYP

- ARCHITECTURAL ASPHALT SHINGLE (TYP)

R3 R4

- HIGH TEMP ICE & WATER SHIELD

UNDERLAYMENT & MEMBRANE

PT WOOD BLOCKING, TYP

- FULLY ADHERED PVC

MEMBRANE FLASHING

- CONTINUOUS BEAD OF MASTIC

- EXTRUDED ANCHORAGE BAR

- BLOCKING AS REQUIRED

- MULTI-PURPOSE TAPE,

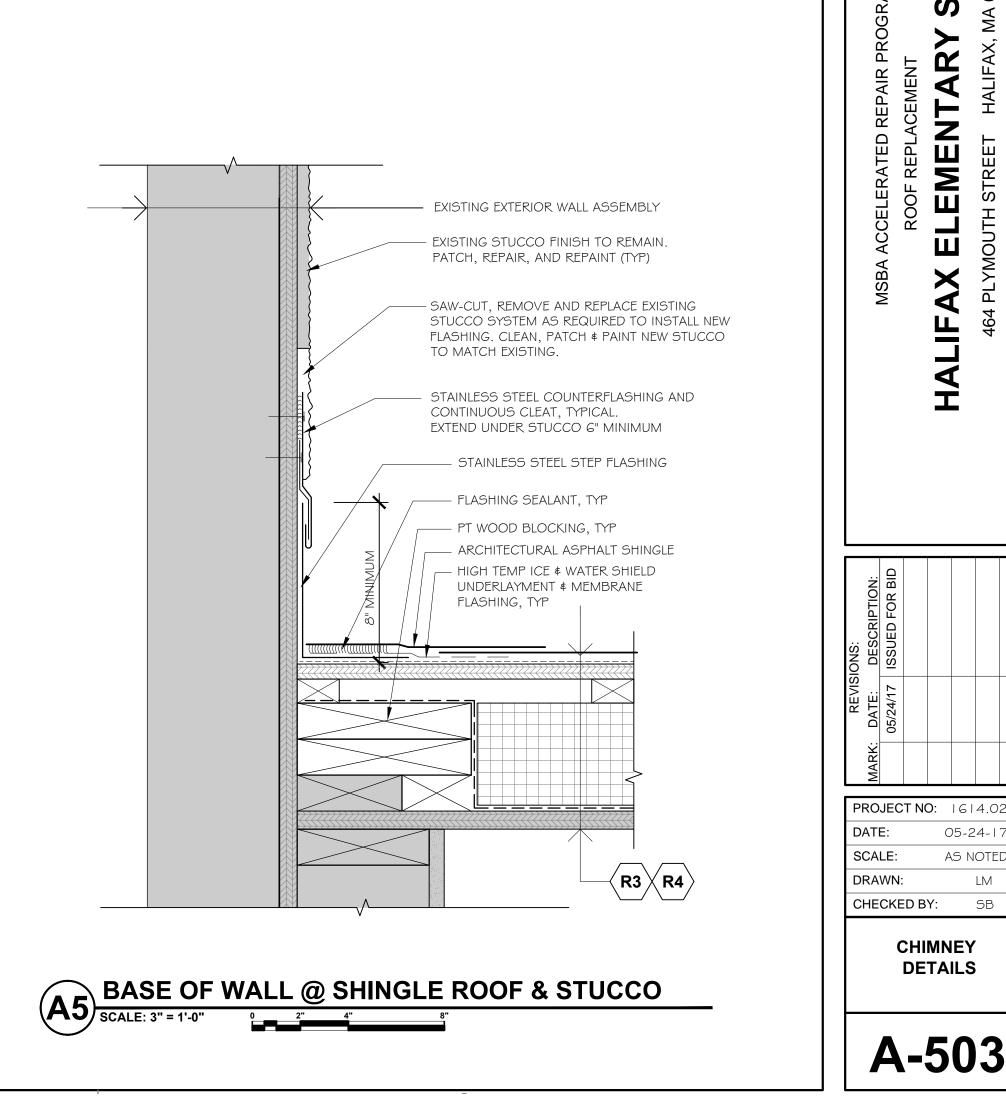
- CONT BACKER ROD AND SEALANT, TYP

5" ALUMINUM FASCIA COVER

— CONCEALED HOOK EDGE

CLEATS @ 24" OC. TYP

 \prec R3 $iggar{R}$ R4igg
angle



PT WOOD BLOCKING, TYP

FLASHING SEALANT, TYP

CONCEALED HOOK EDGE

CLEATS @ 24" OC. TYP

 $\overline{}$ R3 $\overline{}$ R4 $\overline{}$

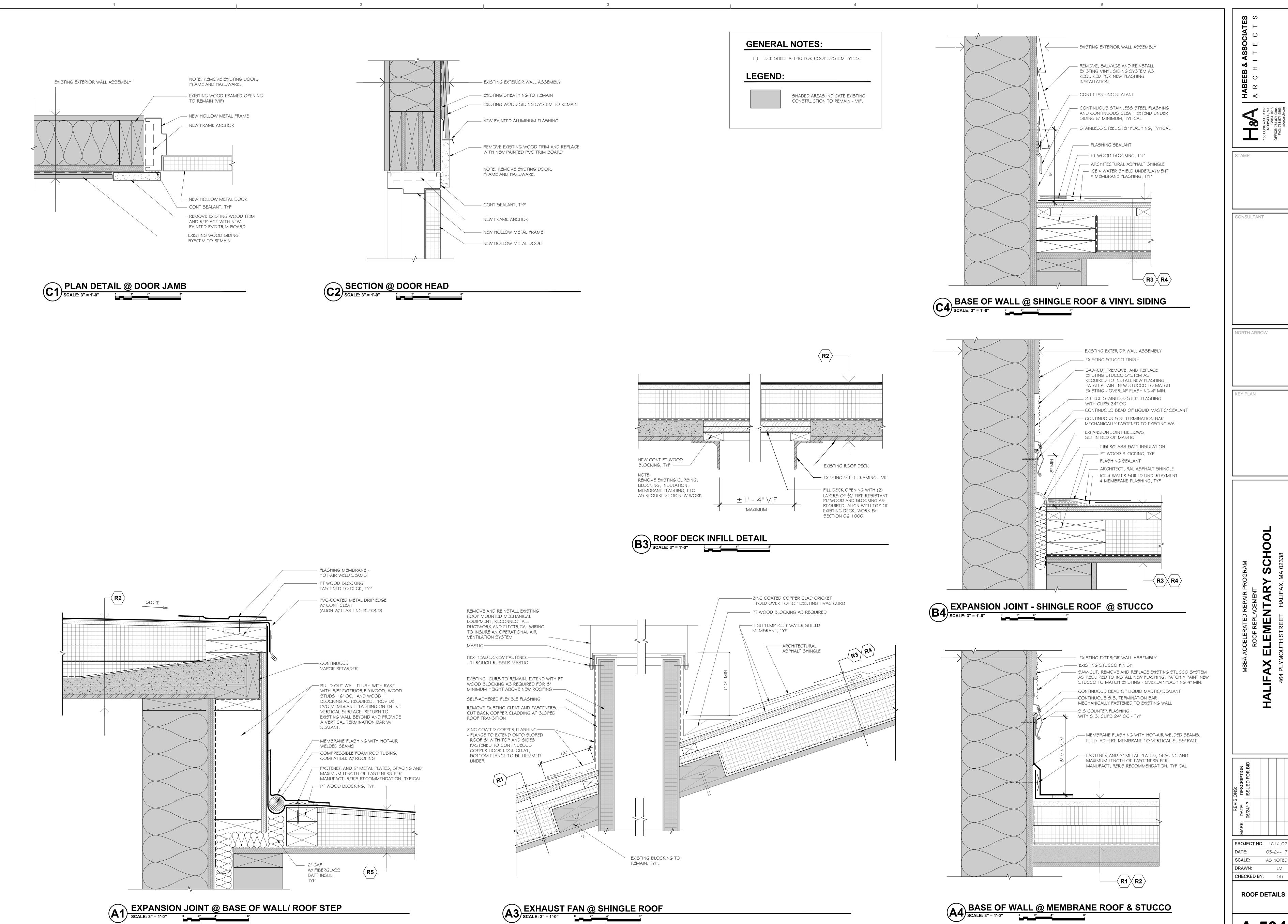
A-503

CHIMNEY **DETAILS**

AS NOTED

NORTH ARROW

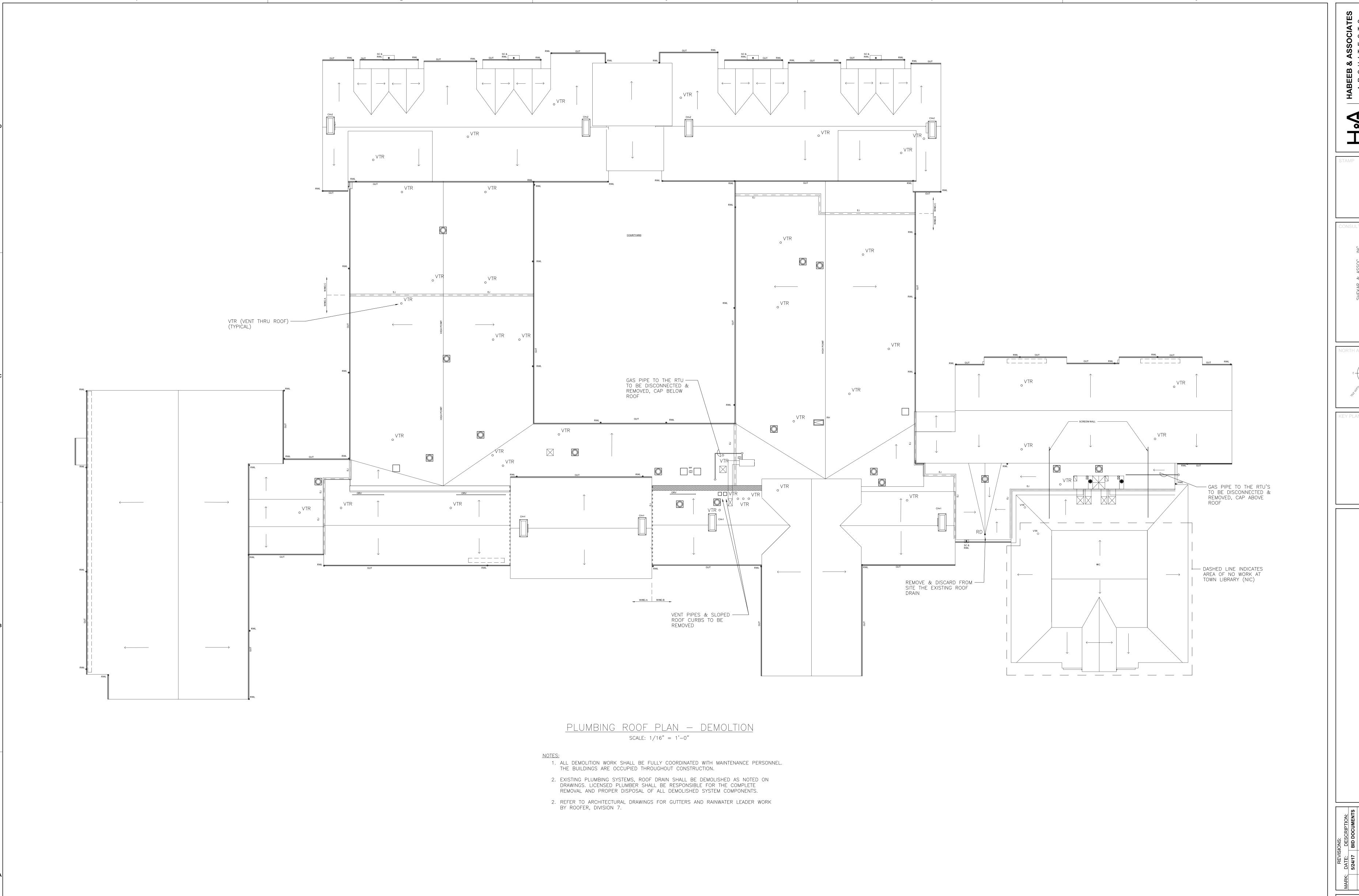
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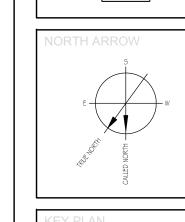
A-504

AS NOTED

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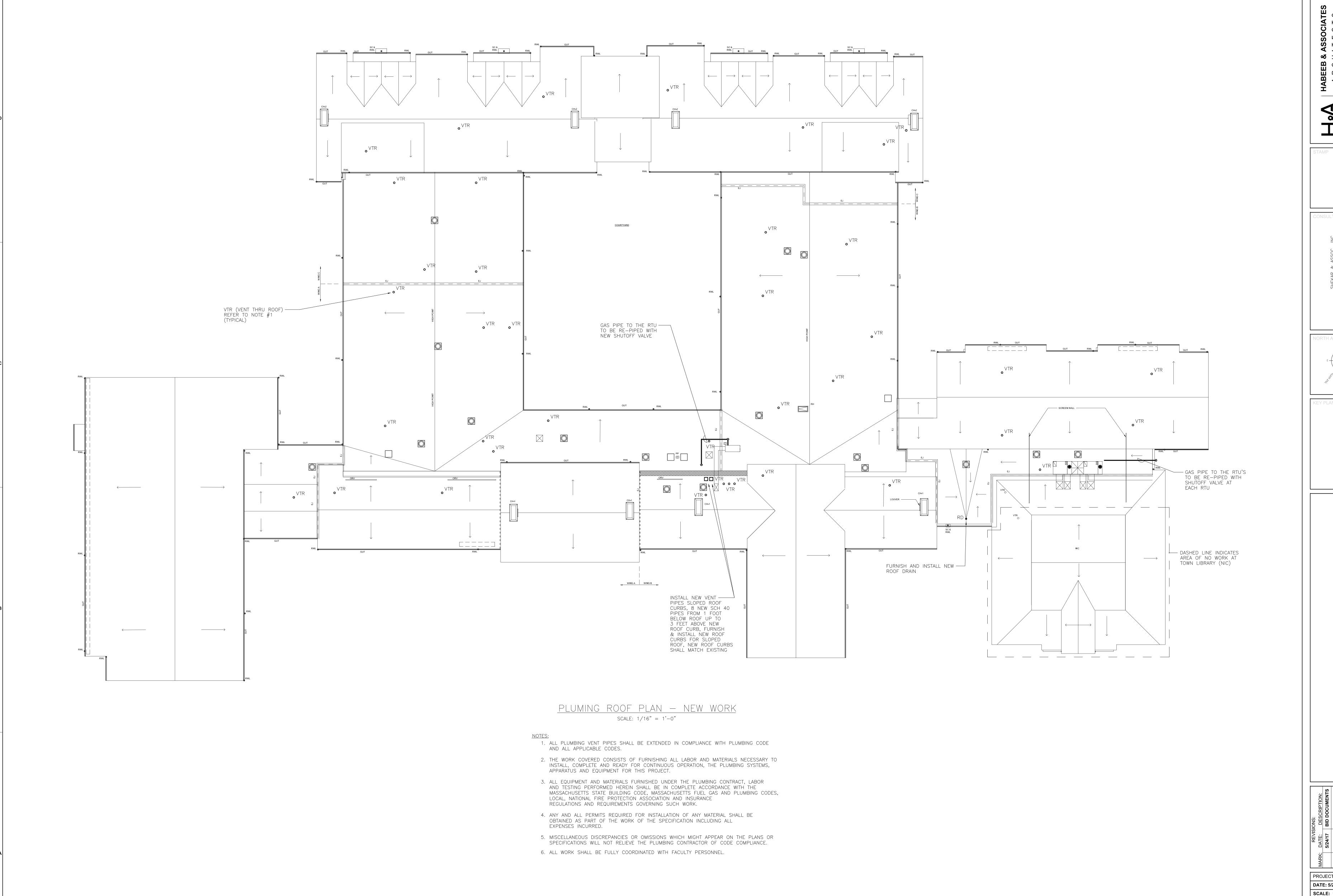




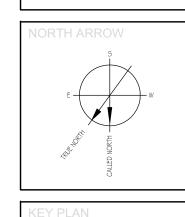
SCHOOL

PROJECT NO: DATE: 5/24/17 SCALE: 1/16" = 1'-0" DRAWN: GWG CHECKED BY: SC

PLUMBING ROOF PLAN DEMOLITION







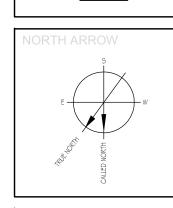
SCHO ROOF REPLACEMENT

CELEMENTARY

MOUTH STREET HALIFAX, MA

PROJECT NO: DATE: 5/24/17 SCALE: 1/16" = 1'-0" DRAWN: GWG CHECKED BY: SC

> PLUMBING ROOF PLAN NEW WORK



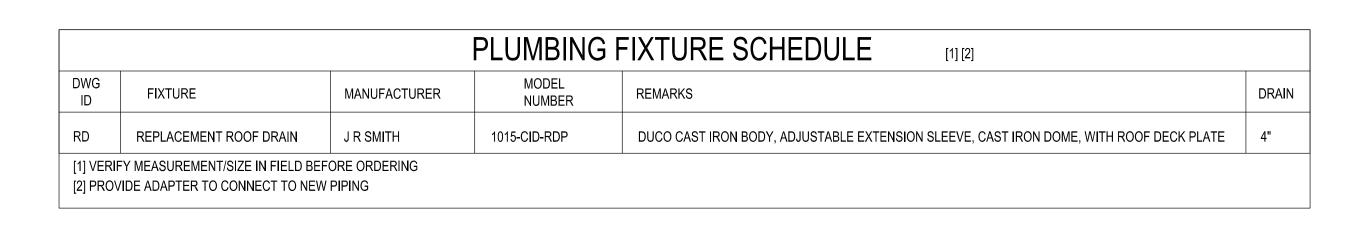
SCHOOL ROOF REPLACEMENT

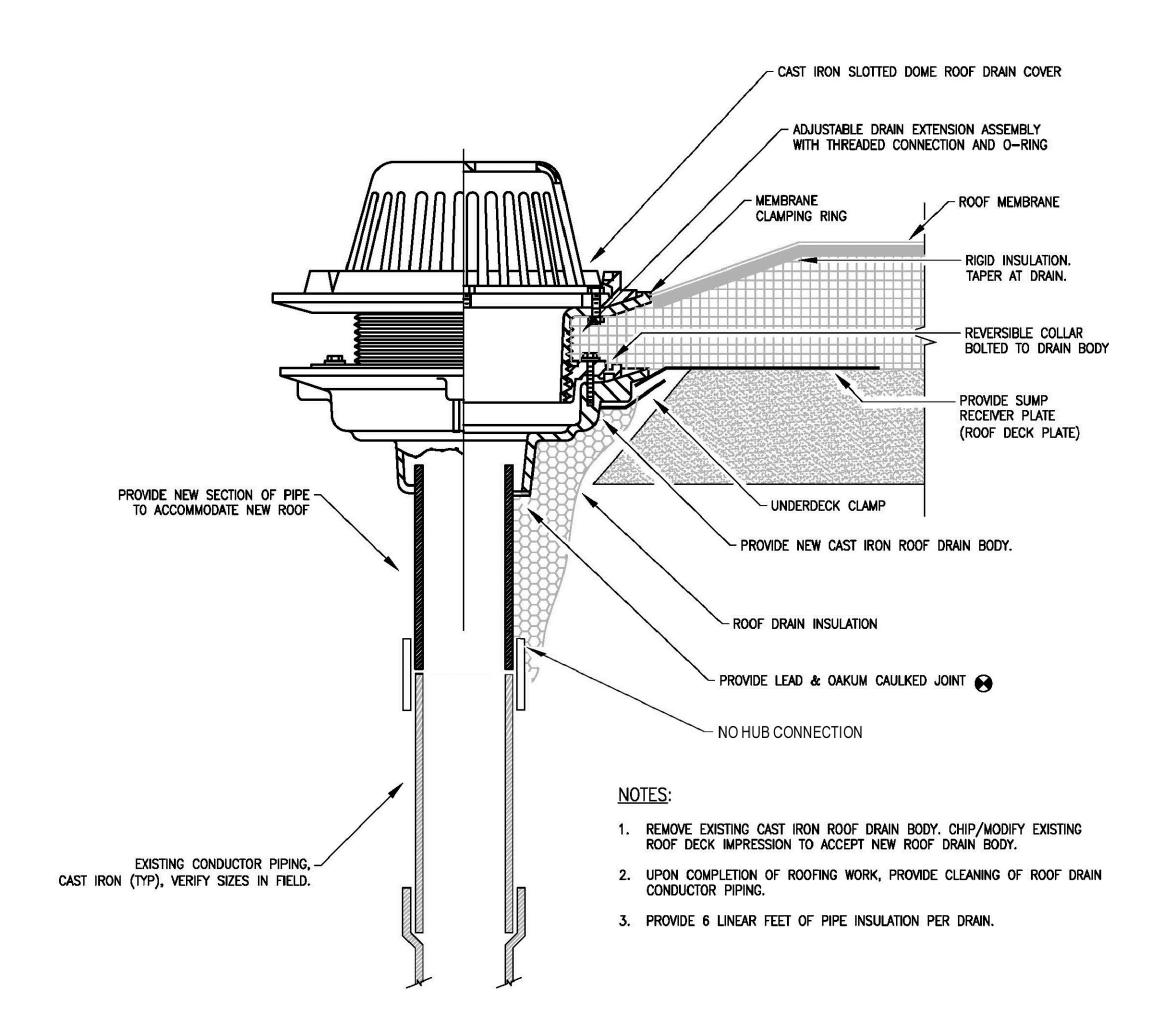
CELEMENTARY

MOUTH STREET HALIFAX, MA

PROJECT NO: DATE: 5/24/17 SCALE: 1/16" = 1'-0" DRAWN: GWG CHECKED BY: SC

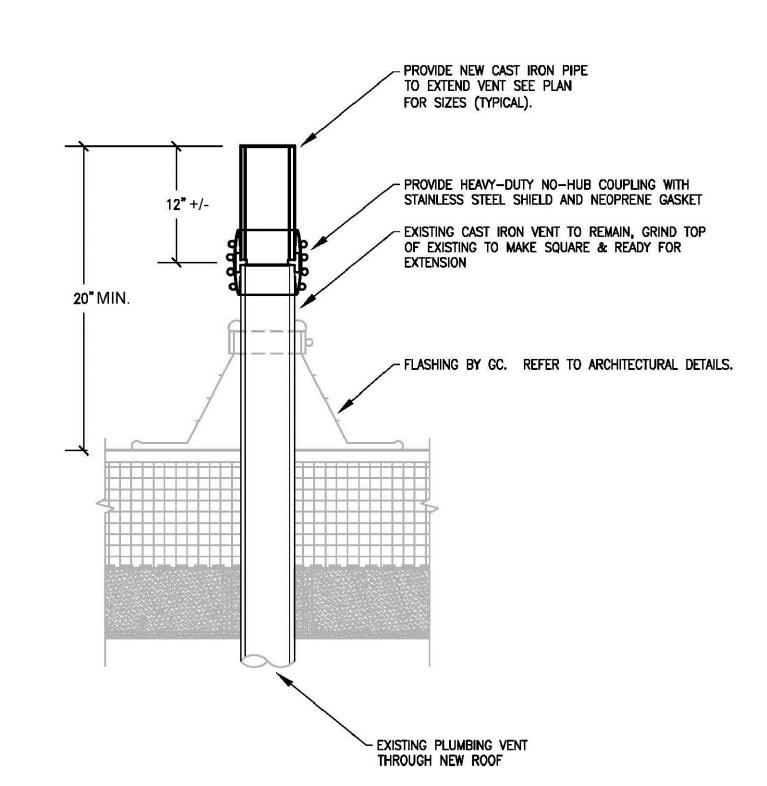
> PLUMBING DETAILS & NOTES



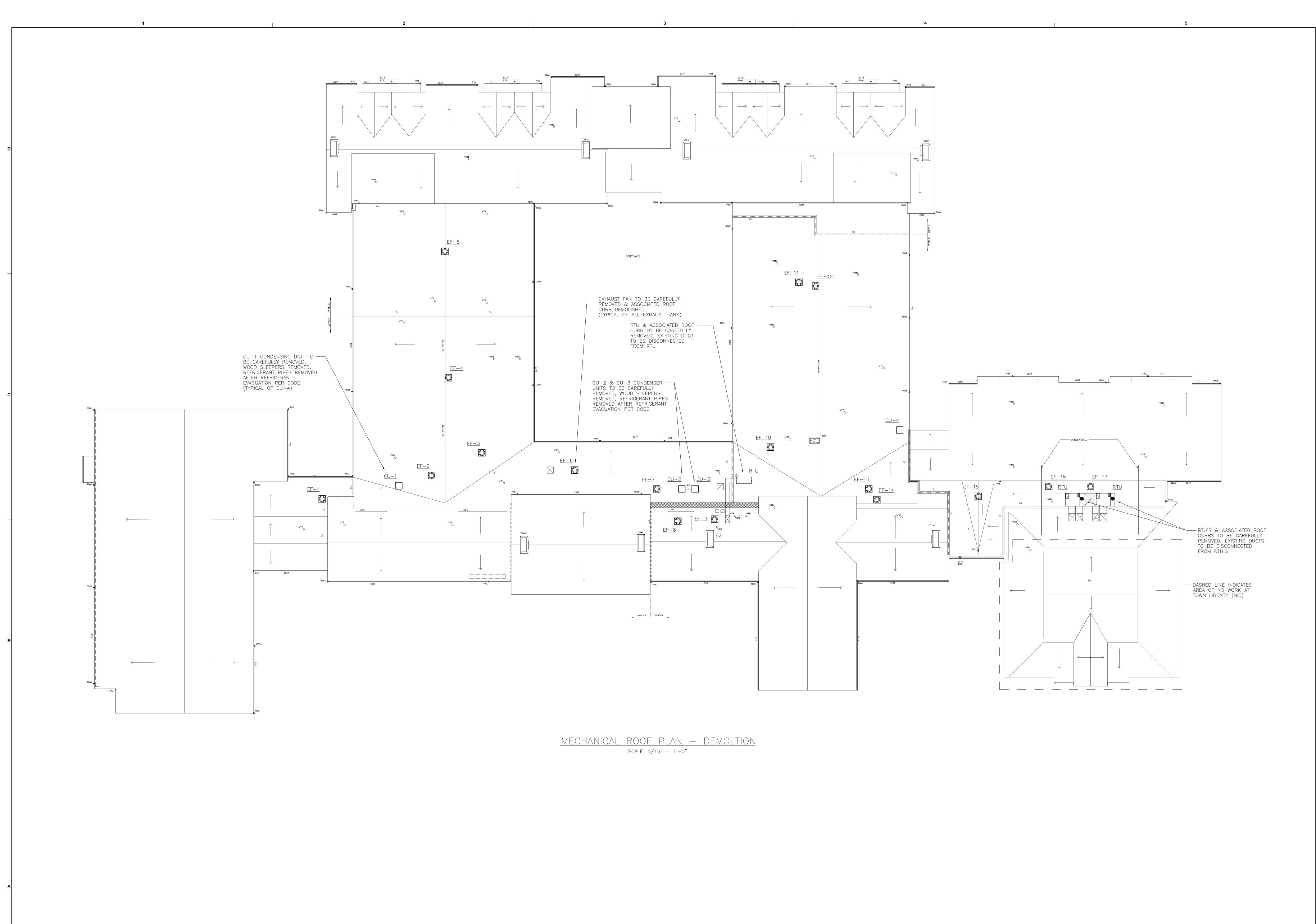


ROOF DRAIN WITH ADJUSTABLE EXTENSION (RD-1 REPLACEMENT ROOF DRAIN)

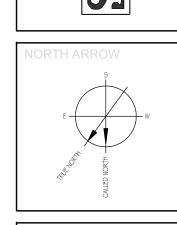
SCALE: NTS



VENT EXTENSION DETAIL, TYP. SCALE: NTS



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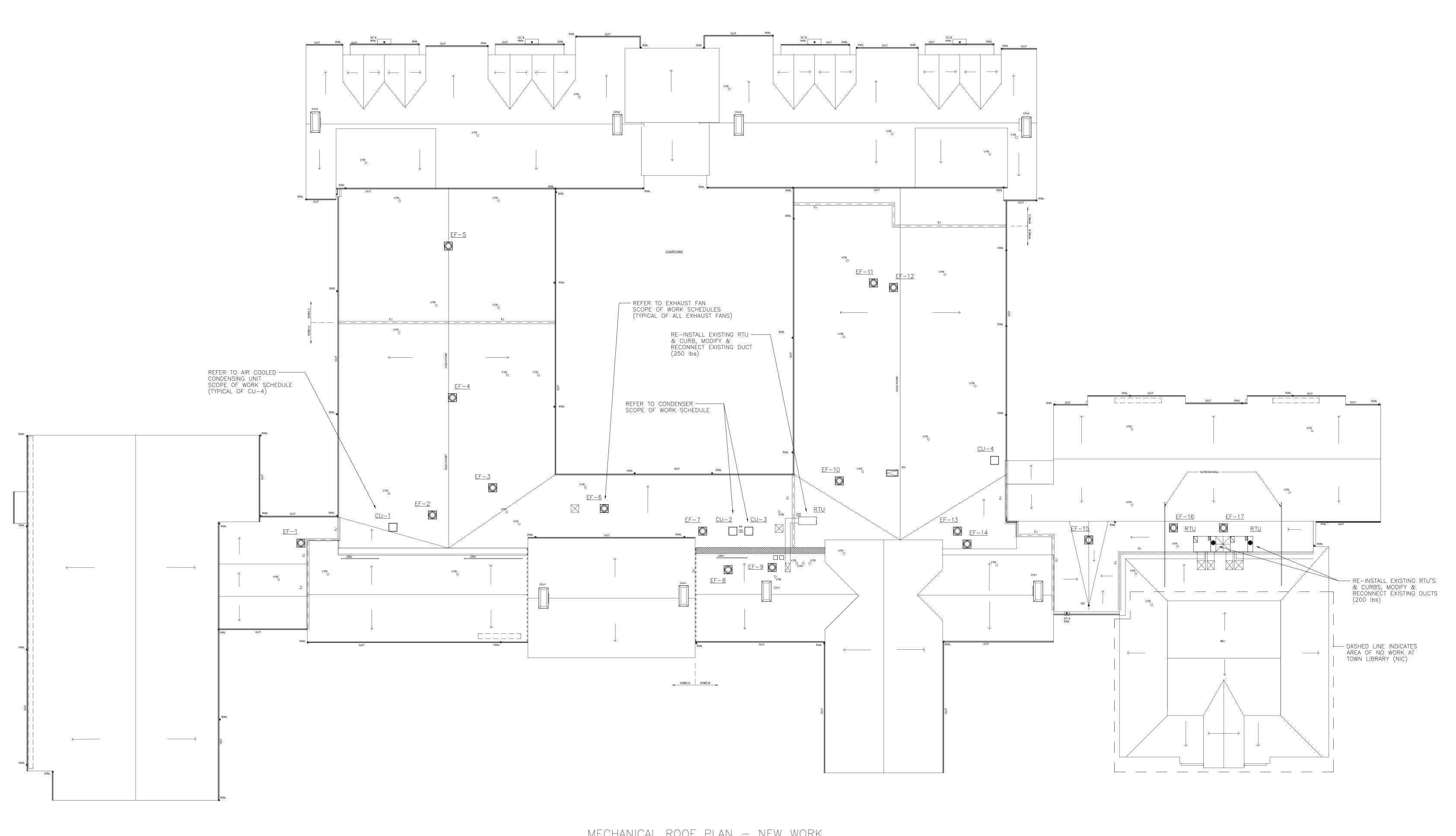


HALIFAX ELEMENTARY
464 PLYMOUTH STREET HALIFAX, N

PROJECT NO: DATE: 5/24/17 SCALE: 1/16" = 1'-0" DRAWN: GWG

CHECKED BY: SC MECHANICAL ROOF PLAN

DEMOLITION



<u>Mechanical roof plan — New Work</u> SCALE: 1/16" = 1'-0"

	EXHAU	ST FAN S	WORK SCHEDULE		
SYMBOL		NG ROOF CUR Ensions (inch		SCOPE OF WORK	
STWIDOL	LENGTH	LENGTH WIDTH F		SCOLE OF WORK	
EF-1	19.0	19.0	8.5	REPLACE EACH ROOF CURB	
EF-2	26.5	26.5	9.5	TO MATCH EXISTING CURB CAP LENGTH AND WIDTH.	
EF-3	22.0	22.0	9.75] Modify & extend all existing roof	
EF-4	31.5	31.5	7.5	CURB EXHAUST DUCTS FOR NEW ROOF HEIGHT.	
EF-5	26.0	26.0	11.75		
EF-6	22.0	22.0	12.0	ALL NEW CURBS SHALL BE CONSTRUCTED OF 16 GAUGE	
EF-7	28.5	28.5	11.0	GALVANIZED STEEL WITH WELDED SEAMS, 18" HIGH, SELF FLASHING,	
EF-10	24.5	24.5	12.0	SERIES RCSF AS MANUFACTURED BY TWIN CITY FAN COMPANY.	
EF-11	28.0	28.0	11.75		
EF-12	28.0	28.0	12.0	RE-INSTALL EXISTING EXHAUST FAN.	
EF-13	28.5	28.5	12.0	START UP FAN AND TEST FOR PROPER OPERATION.	
EF-14	19.0	19.0	13.0		
EF-15	19.0	19.0	11.75		
EF-16	19.0	19.0	12.0		
EF-17	22.0	22.0	11.75		

KITCHEN EXHAUST FAN SCOPE OF WORK SCHEDULE					
SYMBOL		NG ROOF CURENSIONS (INCH		SCOPE OF WORK	
STWDOL	LENGTH	WIDTH	HEIGHT	SOUTE OF WORK	
EF-8	34.0	34.0	6 - 27	REPLACE EACH ROOF CURB	
EF-9	22.0	22.0	6 - 20	TO MATCH EXISTING CURB CAP LENGTH AND WIDTH.	
				MODIFY & EXTEND ALL EXISTING ROOF CURB EXHAUST DUCTS FOR NEW ROOF HEIGHT.	
				ALL NEW CURBS SHALL BE CONSTRUCTED OF 16 GAUGE GALVANIZED STEEL WITH WELDED SEAMS, SELF FLASHING, SERIES RCSF AS MANUFACTURED BY TWIN CITY FAN COMPANY.	
				RE-INSTALL EXISTING EXHAUST FAN.	
				CURB HEIGHT SHALL BE COORDINATED WITH ROOF PITCH.	
				START UP FAN AND TEST FOR PROPER OPERATION.	

	COND	ENSER S	WORK SCHEDULE		
SYMBOL		STING CONDEN ENSIONS (INCI		SCOPE OF WORK	
JOHNBOL	LENGTH	WIDTH	HEIGHT	Soor E or Workix	
CU-2	36.5	28.5	20.0	TEST REFRIGERANT PIPES	
CU-3	36.5	28.5	20.0	FOR LEAKAGE.	
				INSTALL NEW WOOD SLEEPERS FOR CONDENSER UNITS.	
				RE-INSTALL EXISTING CONDENSER UNITS PER INDUSTRY STANDARDS AND/OR MANUFACTURERS RECOMMENDATIONS.	
				INSTALL A NEW REFRIGERANT ROOF CURB TO MATCH EXISTING.	
				INSTALL NEW REFRIGERANT PIPES CONNECTED TO CONDENSER UNITS. 100 LINEAR FT (1" & 1 1/2") OF REFRIGERANT PIPES	
				RECHARGE REFRIGERANT WITH SAME TYPE AND QUANTITY AS EXISTING.	
				START UP AND TEST CONDENSER UNITS FOR PROPER OPERATION.	

AIR CO	OOLED CC	NDENSIN	G UNIT S	COPE OF WORK SCHEDULE		
SYMBOL -		G CONDENSIN ENSIONS (INCH		SCOPE OF WORK		
	LENGTH	WIDTH	HEIGHT	SCOTE OF WORK		
CU-1	37.0	12.5	37.0	TEST REFRIGERANT PIPES		
CU-4	45.0	38.0	41.25	FOR LEAKAGE.		
				INSTALL NEW WOOD SLEEPERS FOR CONDENSER UNITS.		
				RE-INSTALL EXISTING CONDENSING UNITS PER INDUSTRY STANDARDS AND/OR MANUFACTURERS RECOMMENDATIONS.		
				INSTALL A NEW REFRIGERANT ROOF CURB TO MATCH EXISTING FOR CONDENSING UNIT CU-1.		
				INSTALL NEW REFRIGERANT PIPES CONNECTED TO CONDENSING UNITS. 80 LINEAR FT (1" & 1 1/2") OF REFRIGERANT PIPES		
				RECHARGE REFRIGERANT WITH SAME TYPE AND QUANTITY AS EXISTING.		
				START UP AND TEST CONDENSING UNITS FOR PROPER OPERATION.		

EXISTING RTU ROOF CURBS SHALL BE REUSED. IF DAMAGED, CONTRACTOR SHALL REPLACE THEM AT NO COST TO OWNER.

- CONTRACTOR SHALL VERIFY ALL CURB CAPS PRIOR TO PLACING ORDER FOR THEM.
- 3. ALL EXHAUST FAN DUCTS SHALL BE EXTENDED WITH DUCT TYPE TO MATCH EXISTING.
- 4. ALL REPLACEMENT ROOF CURBS SHALL MATCH EXISTING ROOF
- 5. ALL ROOF CURB CAP MODIFICATIONS IS PART OF SCOPE OF WORK.

REVISIONS:	DESCRIPTION: BID DOCUMENTS				
REVIS	MARK: DATE: 5/24/17				
	MARK:				
PF	ROJE	CT NO):		

SCHOOL

HALIFAX ELEMENTARY
464 PLYMOUTH STREET HALIFAX, N

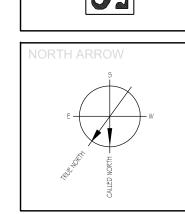
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	PROJECT NO:
	DATE: 5/24/17
	SCALE: 1/16" = 1'-0"
	DRAWN: GWG
	CHECKED BY: SC
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MECHANICAL ROOF PLAN NEW WORK

H-101

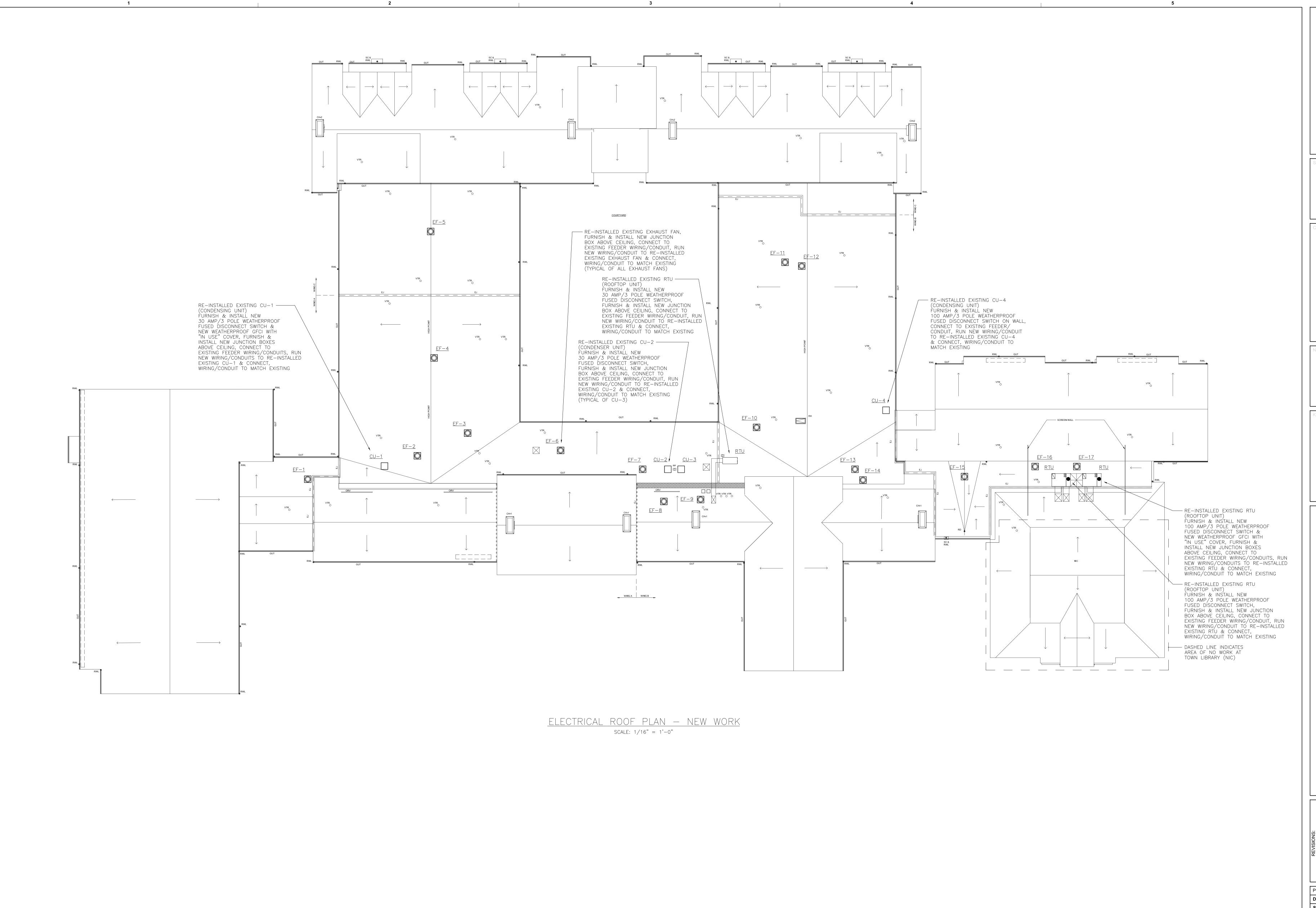
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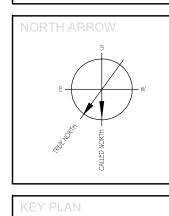
Y SCHOOL, MA 02338 HALIFAX ELEMENTARY
464 PLYMOUTH STREET HALIFAX, N

PROJECT NO: DATE: 5/24/17 SCALE: 1/16" = 1'-0" DRAWN: GWG CHECKED BY: SC

ELECTRICAL ROOF PLAN DEMOLITION



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SCHO ROOF REPLACEMENT

KELEMENTARY

MOUTH STREET HALIFAX, MA

PROJECT NO: DATE: 5/24/17 SCALE: 1/16" = 1'-0" DRAWN: GWG CHECKED BY: SC

ELECTRICAL ROOF PLAN NEW WORK

E-101